



County of Fairfax, Virginia

November 27, 2024

STAFF REPORT

SPECIAL PERMIT SP 2022-SU-00144

SULLY DISTRICT

APPLICANT: Misión Evangelica Jerusalem LA Celestial, Inc.

OWNER: Maria I. Vasquez

LOCATION: 6321 Old Centreville Road, Centreville 20121

TAX MAP REFERENCE: 65-1 ((1)) 8C and 8A1

LOT SIZE: 1.31 acres

ZONING DISTRICT: R-1, WS

FAR: 0.12

COMPREHENSIVE PLAN MAP: Residential, 5 - 8 du/ac

ZONING ORDINANCE PROVISIONS: 4102.4.H

SPECIAL PERMIT PROPOSAL: To permit construction of a religious assembly

STAFF RECOMMENDATION:

Staff recommends approval, subject to the proposed development conditions in Appendix 1.

It should be noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals. A copy of the BZA's Resolution setting forth the disposition of an application will be mailed within ten days after a final decision is rendered.

Brandon McCadden, AICP



Department of Planning and Development
Zoning Evaluation Division
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035-5509
Phone 703-324-1290 FAX 703-324-3924
www.fairfaxcounty.gov/planning-development/

For additional information, call Zoning Evaluation Division, Department of Planning and Development at 703-324-1280, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035. **Board of Zoning Appeals' meetings are held in the Board Room, Ground Level, Government Center Building, 12000 Government Center Parkway, Fairfax, Virginia 22035-5505.**



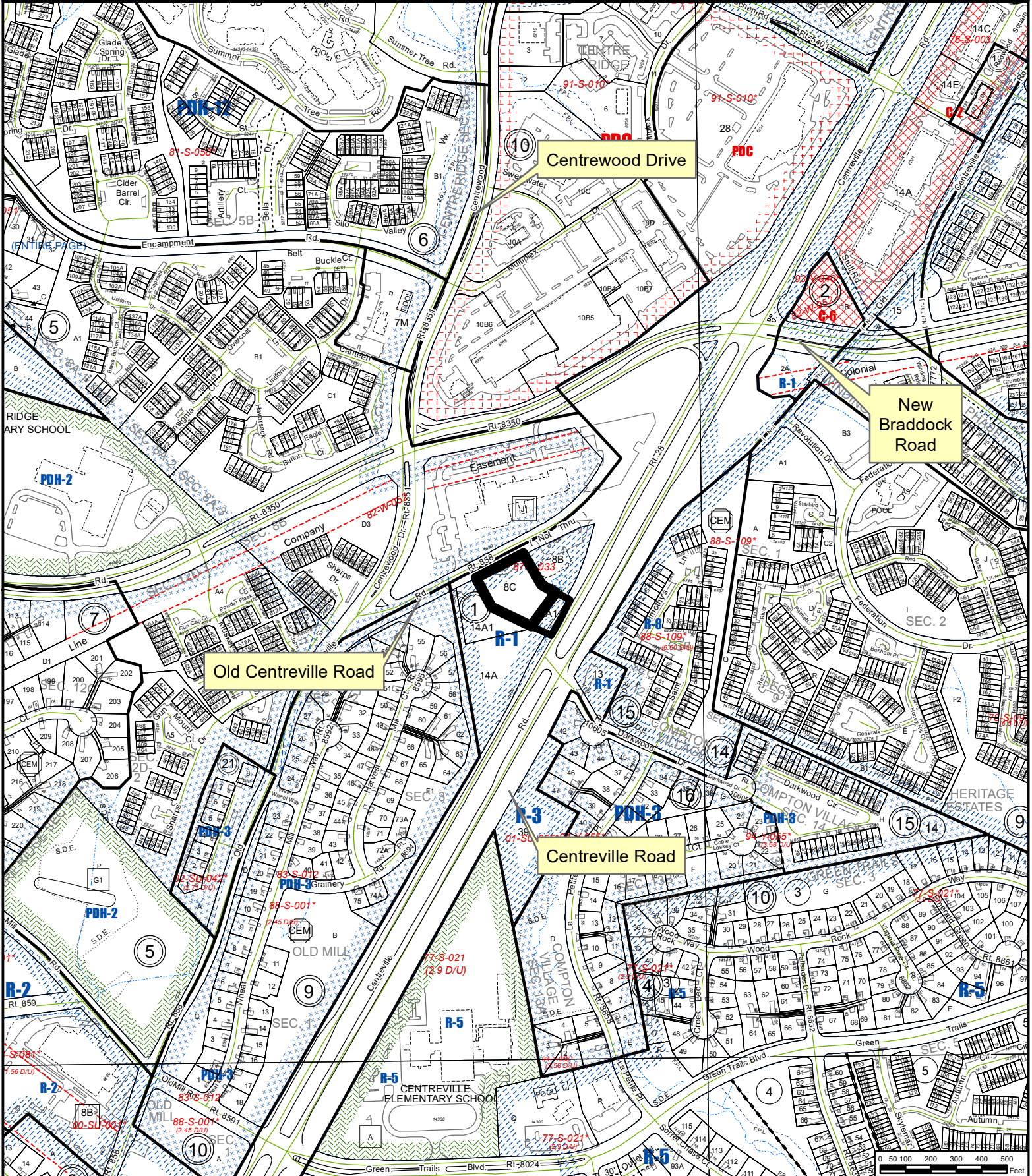
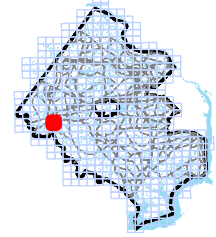
Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).



Special Permit

SP 2022-SU-00144

Mision Evangelica Jerusalem LA Celestial, Inc.



PURPOSE OF SPECIAL EXCEPTION

A SPECIAL PERMIT IS BEING SUBMITTED TO PERMIT THE DEVELOPMENT OF A CHURCH ON THE SUBJECT PROPERTY.

GENERAL NOTES:

- ALL REFERENCES HEREIN TO ZONING ORDINANCE SHALL REFER TO THE FAIRFAX COUNTY ZONING ORDINANCE.
- THE SUBJECT PROPERTY IS LOCATED IN THE SULLY DISTRICT, FAIRFAX COUNTY WITH TAX MAP# 65-1-((01))-8C. ALL REFERENCES HEREIN TO PROPERTY, PARCEL, OR SITE REFER TO THE SUBJECT PROPERTY. THE TOTAL LOTS AREA AREA 57,238 SF INCLUDING OUTLOT "A". THE EXISTING STRUCTURE WAS BUILT IN 1925 AND IT WILL BE DEMOLISHED
- THE PROPERTY IS CURRENTLY ZONED R-1. A SPECIAL PERMIT HAS BEEN REQUESTED FOR A CHURCH USES.
- THE BOUNDARY INFORMATION SHOWN HEREON IS BASED ON THE RECORDED PLAT ON D.B. 12426 AND PG. 2022, RECORDED ON OCTOBER 16, 2001.
- THIS PROPOSED DEVELOPMENT FOR 6321 OLD CENTREVILLE RD WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF IBRAHIM CHEHAB, PE FROM AN ACTUAL GROUND SURVEY MADE UNDER MY SUPERVISION; THAT THE IMAGERY AND/OR ORIGINAL DATA WAS OBTAINED ON JULY, 2020; AND THAT THIS PLAT, MAP, OR DIGITAL GEOSPATIAL DATA INCLUDING METADATA MEETS MINIMUM ACCURACY STANDARDS UNLESS OTHERWISE NOTED.
- THE TOPOGRAPHY SURVEY IS CONDUCTED BY GEOENV ENGINEERS AND IS BASED ON NGVD 1929 DATUM. THE TOPOGRAPHY SHOWN HEREON IS AT TWO (2) FOOT CONTOUR INTERVALS
- BASED UPON COUNTY MAPPING, THERE ARE NO MAPPED FLOODPLAIN AND/OR RESOURCE PROTECTION AREAS ON THE PROPERTY.
- THE LOCATION AND WIDTH OF ALL EXISTING UTILITY EASEMENTS AND THE PRELIMINARY LOCATION(S) OF NEW OR RELOCATED UTILITIES ARE SHOWN.
- THERE ARE NO KNOWN AREAS ON THE PROPERTY THAT HAVE SCENIC ASSETS OR NATURAL FEATURES WORTH PROTECTING AND PRESERVING.
- THERE ARE NO KNOWN GRAVE OR BURIAL SITES ON THE PROPERTY.
- THERE ARE NO KNOWN ENDANGERED OR THREATENED PLANT OR ANIMAL SPECIES ON THE PROPERTY.
- ACCORDING TO THE FAIRFAX COUNTYWIDE TRAILS PLAN, THERE ARE NO TRAILS PROPOSED ON THE FRONTAGE OF THE PROPERTY. THERE ARE NO EXISTING TRAILS AROUND THE VICINITY OF THE SITE.
- THE USE AND DENSITY OF THE PROPOSED DEVELOPMENT CONFORMS TO THE RECOMMENDATIONS OF THE FAIRFAX COUNTY COMPREHENSIVE PLAN.
- THE PROPOSED DEVELOPMENT WILL NOT POSE ANY ADVERSE EFFECT ON ADJACENT OR NEIGHBORING PROPERTIES.
- EXISTING IMPROVEMENTS ON THE SUBJECT PROPERTY INCLUDE A SINGLE FAMILY DWELLING CONSTRUCTED IN THE 1950, AS WELL AS A DRIVEWAY. ALL EXISTING IMPROVEMENTS WILL BE REMOVED.
- THE PROJECT IS ANTICIPATED TO BE DEVELOPED IN A SINGLE PHASE.
- BASED UPON PRELIMINARY SITE INVESTIGATIONS, THERE ARE NO KNOWN HAZARDOUS OR TOXIC SUBSTANCES AS SET FORTH IN TITLE 40, CODE OF FEDERAL REGULATIONS PARTS 116.4, 302.4 AND 355; ALL HAZARDOUS WASTE AS SET FORTH IN COMMONWEALTH OF VIRGINIA DEPARTMENT OF WASTE MANAGEMENT REGULATIONS VR 872-10-1-VIRGINIA HAZARDOUS WASTE MANAGEMENT REGULATIONS; AND/OR PETROLEUM PRODUCTS AS DEFINED IN TITLE 40, CODE OF FEDERAL REGULATIONS PART 260; EXISTING ON SITE; OR PROPOSED TO BE GENERATED, UTILIZED, STORED, TREATED AND/OR DISPOSED OF ONSITE.
- PUBLIC SEWER AND WATER ARE AVAILABLE AND CONNECTED TO THE EXISTING DWELLING. THE PROPOSED STRUCTURE WILL BE RECONNECTED TO THE PUBLIC WATER AND SANITARY SEWER.
- PARKING WILL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 11 OF THE ZONING ORDINANCE.
- LANDSCAPING CONSISTING OF A COMBINATION OF EVERGREEN AND DECIDUOUS TREES WILL BE PROVIDED IN ACCORDANCE WITH THE APPLICABLE PROVISIONS OF ARTICLE 13.
- SUBJECT TO MARKET CONDITIONS, IT IS ANTICIPATED THAT CONSTRUCTION WILL COMMENCE AS SOON AS ALL NECESSARY COUNTY APPROVALS AND PERMITS ARE OBTAINED.
- STORMWATER MANAGEMENT FACILITIES WILL CONFORM TO ALL LDS AND PFM REQUIREMENTS UNLESS WAIVED OR MODIFIED AS MAY BE PERMITTED BY THE DIRECTOR.
- THE SUBJECT PROPERTY IS NOT LOCATED IN A DAM BREAK INUNDATION ZONE.
- BUILDING FOOTPRINT AND DESIGN REPRESENTED ARE ILLUSTRATIVE AND APPROXIMATE. THE SIZE AND CONFIGURATION OF THE FOOTPRINT MAY BE REVISED TO THE EXTENT PERMITTED BY APPLICABLE ZONING ORDINANCES.
- PURSUANT TO SECTION 9-004.4 OF THE ZONING ORDINANCE, MINOR MODIFICATIONS TO THE BUILDING SIZE, DIMENSIONS, AND/OR FOOTPRINT AS WELL AS LOCATIONS OF SIDEWALKS, UTILITIES, SWM FACILITIES, AND OUTDOOR FACILITIES MAY OCCUR WITH FINAL SITE ENGINEERING AND MAY REQUIRE AMENDMENTS TO THIS SP PLAT AND/OR INTERPRETATIONS.
- ALL PROPOSED SIGNS WILL BE IN CONFORMANCE WITH ARTICLE 12 OF THE ZONING ORDINANCE
- THE PROPOSED DEVELOPMENT WILL CONFORM TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS EXCEPT AS MAY BE SPECIFIED OTHERWISE PER THE REQUESTED WAIVERS/MODIFICATIONS.
- THE PROPOSED DEVELOPMENT ARE NOT PROPOSED ANY USABLE OUTDOOR RECREATION, LOUDSPEAKERS, OR FENCING.
- OUTDOOR LIGHTNING WILL BE PROVIDED DURING THE SITE PLAN PHASE.
- THE SITE WILL PROVIDE 4 BIKES RACKS TO ACCOMMODATE A TOTAL OF 8 BIKES. THE PROPOSED BIKE RACK LOCATION IS CONCEPTUAL AND THE ULTIMATE LOCATION IS SUBJECT TO CHANGE AT SITE PLAN.

SPECIAL PERMIT PLAT MISION EVANGELICA LA CELESTIAL HECHOS CHURCH

6321 OLD CENTREVILLE ROAD
SULLY DISTRICT
FAIRFAX COUNTY, VIRGINIA

SITE AREA TABULATION:

SITE AREA (INCLUDING OUTLOT "A"): ±1.3140 ACRES OR 57,238 SQ FT
ZONED: R-1
EXISTING USE: SINGLE FAMILY DWELLING
PROPOSED USE: PLACE OF WORSHIP (CHURCH)
OPEN SPACE REQUIRMENTS: NONE
PROPOSED IMPERVIOUS AREA:
PARKING/SIDEWALK = 21,496 SF
BUILDING = 6,974 SF
TOTAL IMPERVIOUS PERCENTAGE: =28,470 SF OR 49.74% OF THE TOTAL AREA

ZONED: R-1

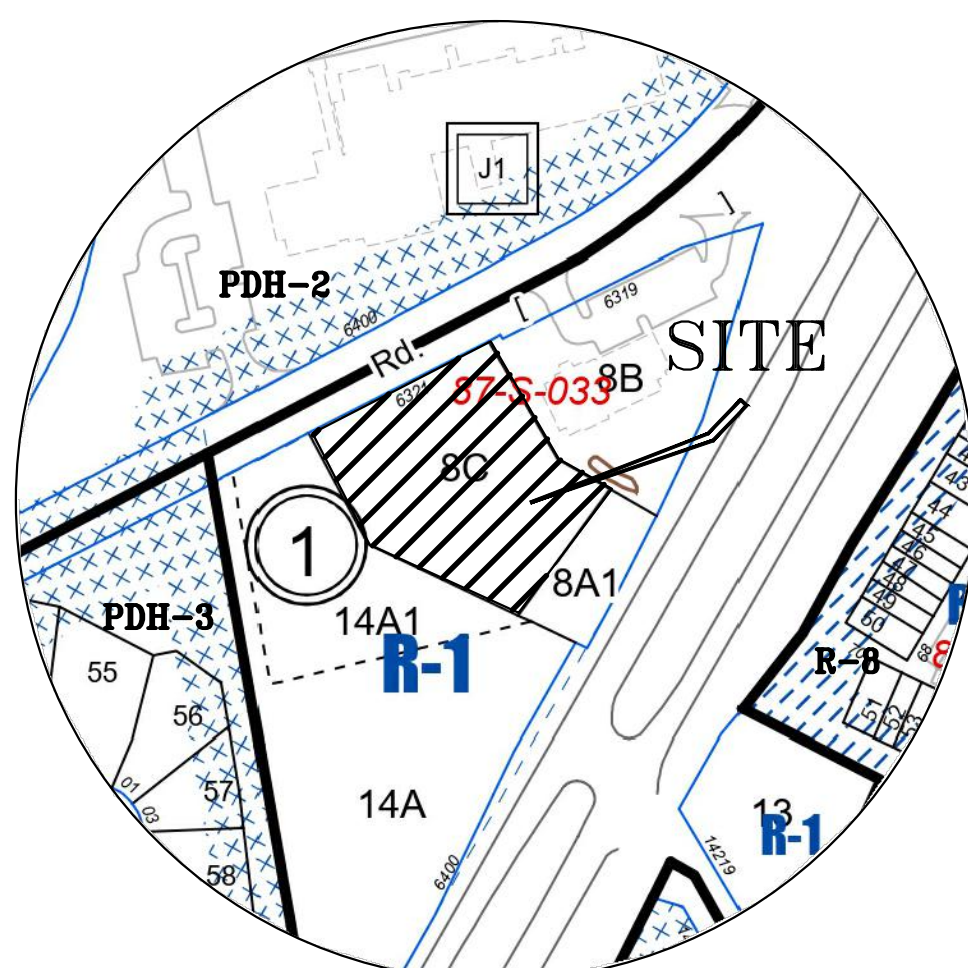
MAX BUILDING HEIGHT ALLOWED: 60 FT
MAX BUILDING HEIGHT PROVIDED: 50.12 FT
GROSS FLOOR AREA:
PROPOSED CHURCH BUILDING = 6,974 SQFT
MAX FAR ALLOWED = 0.15
MAX FAR PROVIDED = 6,974 /57,238 = 0.12< 0.15 OK

SETBACKS: R-1 ZONE

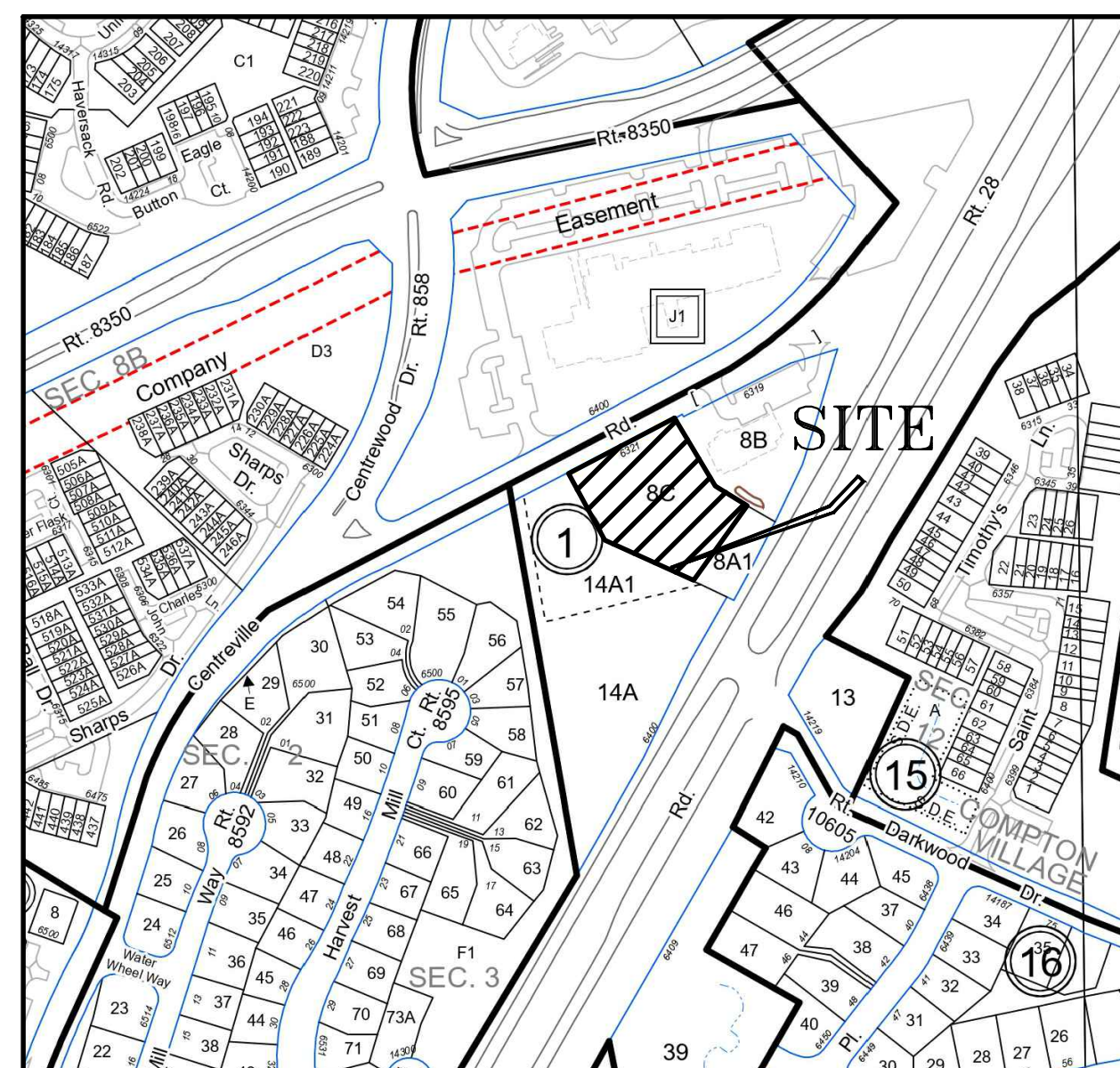
	SINGLE-FAMILY DWELLINGS		OTHER PRINCIPAL USES
	CONVENTIONAL	CLUSTER	
1. FRONT SETBACK	40 FEET	30 FEET	SETBACK RELATIVE TO HEIGHT (REFER SHEET #3)
2. SIDE SETBACK	20 FEET	12 FEET (TOTAL MINIMUM 40 FEET)	SETBACK EQUAL TO BUILDING HEIGHT, BUT AT LEAST 20 FEET
3. REAR SETBACK	25 FEET		SETBACK EQUAL TO BUILDING HEIGHT, BUT AT LEAST 25 FEET

PARKING TABULATION:

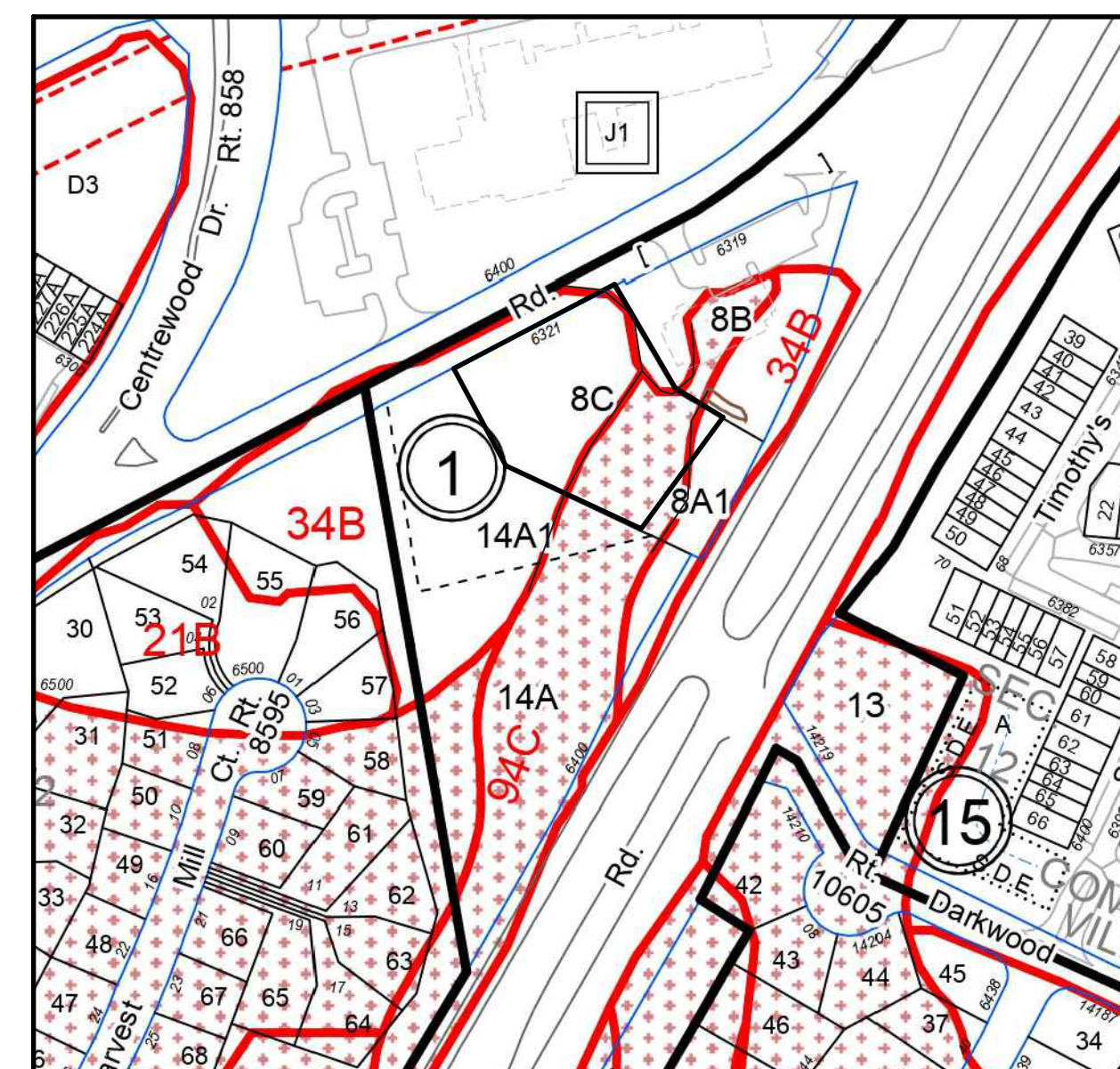
ZONED: R-1
USES: CHURCH
PARKING REQUIREMENT: (1.0 SPACES PER FOUR (4) SEATS IN PRINCIPAL PLACE OF WORSHIP, AND TOTAL WORSHIP SEATS=200 SEATS) = 50 SPACES REQUIRED.
PARKING SPACES PROVIDED: 50 CAR PARKING PACES (INCLUDING 3 H.C. SPACES)
H.C. SPACES REQUIRED = 2 HANDICAPPED SPACES AND 1 VAN ACCESSIBLE
LOADING SPACES REQUIRED = NONE
LOADING SPACES PROVIDED = NONE
REAR SET BACK COVERED WITH ACCESSORY USE ACCORDANCE WITH SUBSECTION 4102.7.A(5).
TOTAL AREA WITHIN REAR SETBACK = 3,880 SF
MINIMUM REAR SETBACK COVERAGE = 30% OF THE REAR SET BACK = 0.3 x 3,880 = 1,164 SF
REAR YARD COVERAGE: = 0 SF < 1,164 SF (OR 0%) OK



ZONING MAP
SCALE: 1" = 200'



VICINITY MAP
SCALE: 1" = 300'



SOIL MAP
SCALE: 1" = 200'

SOIL DATA (RATINGS OF NRCS MAPPED SOIL IN FAIRFAX COUNTY)

SOIL ID NUMBERS	SERIES NAME	FOUNDATION SUPPORT	SOIL DRAINAGE	SUITABILITY FOR SEPTIC DRAINFIELDS	SUITABILITY FOR INFILTRATION TRENCHES	SOIL PROBLEM CLASS	EROSION POTENTIAL	SOIL HYDROLOGIC GROUP	% OF SITE	GEOTECH INVESTIGATION REQUIRED
34B	DULLES SILT LOAM	POOR	POOR	POOR	POOR	III	MEDIUM	D	65%	NO
94C	SYCOLINE - KELLY COMPLEX	POOR	POOR	POOR	POOR	III	HIGH	D	35%	NO

SOIL NOTES:

- SOIL INFORMATION AND MAPPING PROVIDED BY THE OFFICIAL 2018 FAIRFAX COUNTY SOILS MAPS.

SHEET INDEX

- COVER SHEET
- EXISTING CONDITIONS PLAN
- SPECIAL PERMIT PLAT
- EXISTING VEGETATION MAP
- LANDSCAPE PLAN
- PRELIMINARY STORMWATER MANAGEMENT PLANS
- ADEQUATE OUTFALL NARRATIVE
- SWM/BMP NOTES AND DETAILS
- VRRM SPREADSHEET
- SIGHT DISTANCE PLAN AND PROFILE
- VDOT NOTES AND DETAILS
- FRONT ELEVATION

WAIVER/MODIFICATION REQUESTS

- MODIFICATION/ WAIVER REQUEST OF TRANSITIONAL SCREENING AND BARRIER REQUIREMENTS ALONG SOUTH PROPERTY LINE PER SECTION 5108.6 OF FAIRFAX COUNTY ZONING ORDINANCE.

OWNER/APPLICANT:

VASQUEZ MARIA I,
5395 SASHER LANE
FAIRFAX VA 22030

GeoEnv Engineers
Civil, Environmental & Geotechnical Engineering
10875 Main Street, Suite 213
Fairfax, VA 22030
Tel. 703.591.7170
Fax. 703.591.7074
www.geoenv1.com

REVISION BLOCK	DATE	DESCRIPTION
4.	10/18/2024	GEE
3.	08/14/2024	GEE
2.	05/15/2024	GEE
1.	10/10/2023	GEE
NO.		REV. BY DATE

COUNTY PLAN NUMBER # SP-2022-SU-000144

PROFESSIONAL SEAL
IBRAHIM A. CHEHAB
Lic. No. 022868
10/18/2024
PROFESSIONAL

COVER SHEET
CHURCH
PCL 8A-1 & OUTLET A,
MILDRED K DEBELL TRUSTEE PROPERTY
6321 OLD CENTREVILLE ROAD
MAGISTERIAL DISTRICT: SULLY
FAIRFAX COUNTY, VIRGINIA

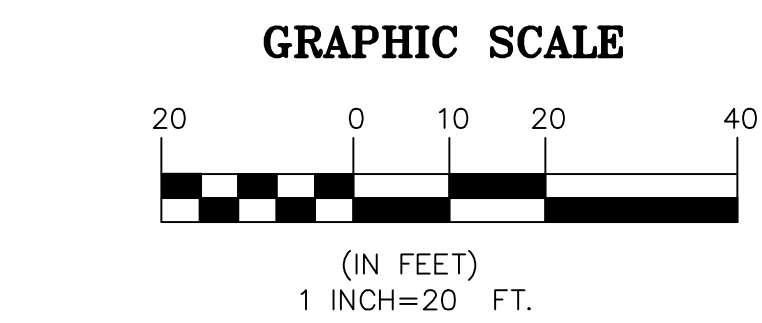
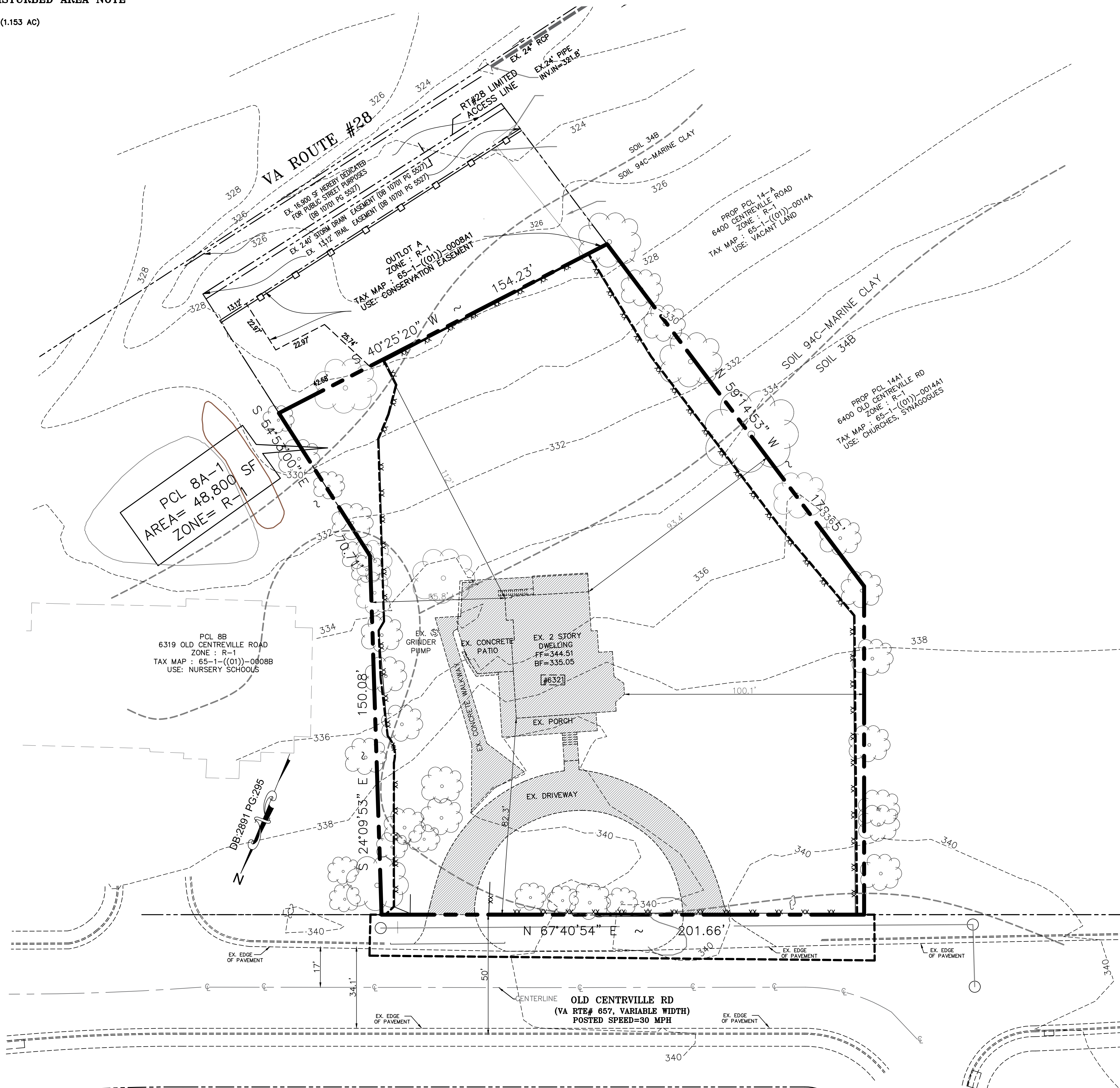
TAX MAP: 65-1-((01))-0008C & 65-1-((01))-0008A1

DATE:	OCT. 2024
PREPARED BY:	BF
CHECKED BY:	ABE
PROJECT #	2020-4550

SCALE: N/A

WATERSHED AND DISTURBED AREA NOTE

WATERSHED: CUB_RUN
DISTURBED AREA= 50,214 SF (1.153 AC)



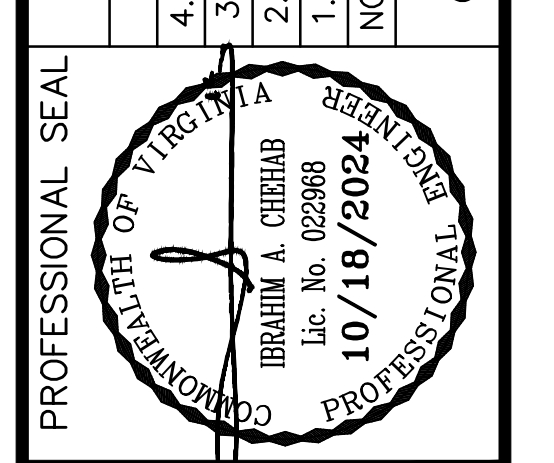
LEGEND

	EX. 2' MINOR CONTOUR LINE
	EX. 2' MAJOR CONTOUR LINE
	EXISTING IMPERVIOUS TO BE REMOVED
	EXISTING TREE
	LIMITS OF DISTURBANCE



NO.	DESCRIPTION	REV. BY	DATE
4.	4th REVISION	GEE	10/18/2024
3.	3RD REVISION	GEE	08/14/2024
2.	2ND REVISION	GEE	05/15/2024
1.	1ST REVISION	GEE	10/10/2023

COUNTY PLAN NUMBER # SP-2022-SU-000144



EXISTING CONDITIONS PLAN

CHURCH
PCL 8A-1 & OUTLET A,
MILDRED K DEBELL TRUSTEE PROPERTY
6321 OLD CENTREVILLE ROAD
MAGISTERIAL DISTRICT: SULLY FAIRFAX COUNTY, VIRGINIA

TAX MAP: 65-1-((01))-0008C & 65-1-((01))-0008A1
DATE: OCT. 2024
PREPARED BY: BF
CHECKED BY: ABE
PROJECT #: 2020-4550
SCALE: 1"=20'
SHEET 2 OF 9

Description/ITE Code	Units	ITE Vehicle Trip Generation Rates (peak hours are for peak hour of adjacent street traffic unless highlighted)								Expected Units	Total Generated Trips			Total Distribution of Generated Trips					
		Weekday		AM		PM		Pass-By			Daily	AM Hour	PM Hour	AM In	AM Out	Pass-By	PM In	PM Out	Pass-By
		AM In	AM Out	PM In	PM Out	AM In	AM Out	PM In	PM Out										
Church 560	KSF ²	9.11	0.56	0.55	62%	38%	48%	52%	7.0	64	4	0	2	1	0	0	0	0	

NOTES:

1. THE BUILDING AREA AND NUMBER OF PARKING SPACES MAY BE REDUCED, AS DETERMINED APPROPRIATE BY THE OWNER PROVIDED THAT THE MINIMUM PARKING REQUIREMENT PER THE ZONING ORDINANCE IS MET TO ACCOMMODATE 220 WORSHIP SEATS.
2. ANY PROPOSED SIGNING OR STRIPING WITHIN PUBLIC RIGHT-OF-WAY IS CONCEPTUAL AND SUBJECT TO VDOT APPROVAL.

BEFORE CONSIDERING USING ANY SECTION OF EXISTING PIPES AS PART OF THE PROPOSED STORM DRAINAGE SYSTEM, THE EXISTING PIPE SECTION NEEDS TO BE FLUSHED, INSPECTED, EVALUATED, AND DEEMED IN GOOD CONDITION.

THE POST CONSTRUCTION PIPE INSTALLATION INSPECTIONS ARE PROVIDED AS REQUIRED PER SECTION 302.03 (D) OF THE VDOT 2007 SUPPLEMENTAL ROAD AND BRIDGE SPECS.

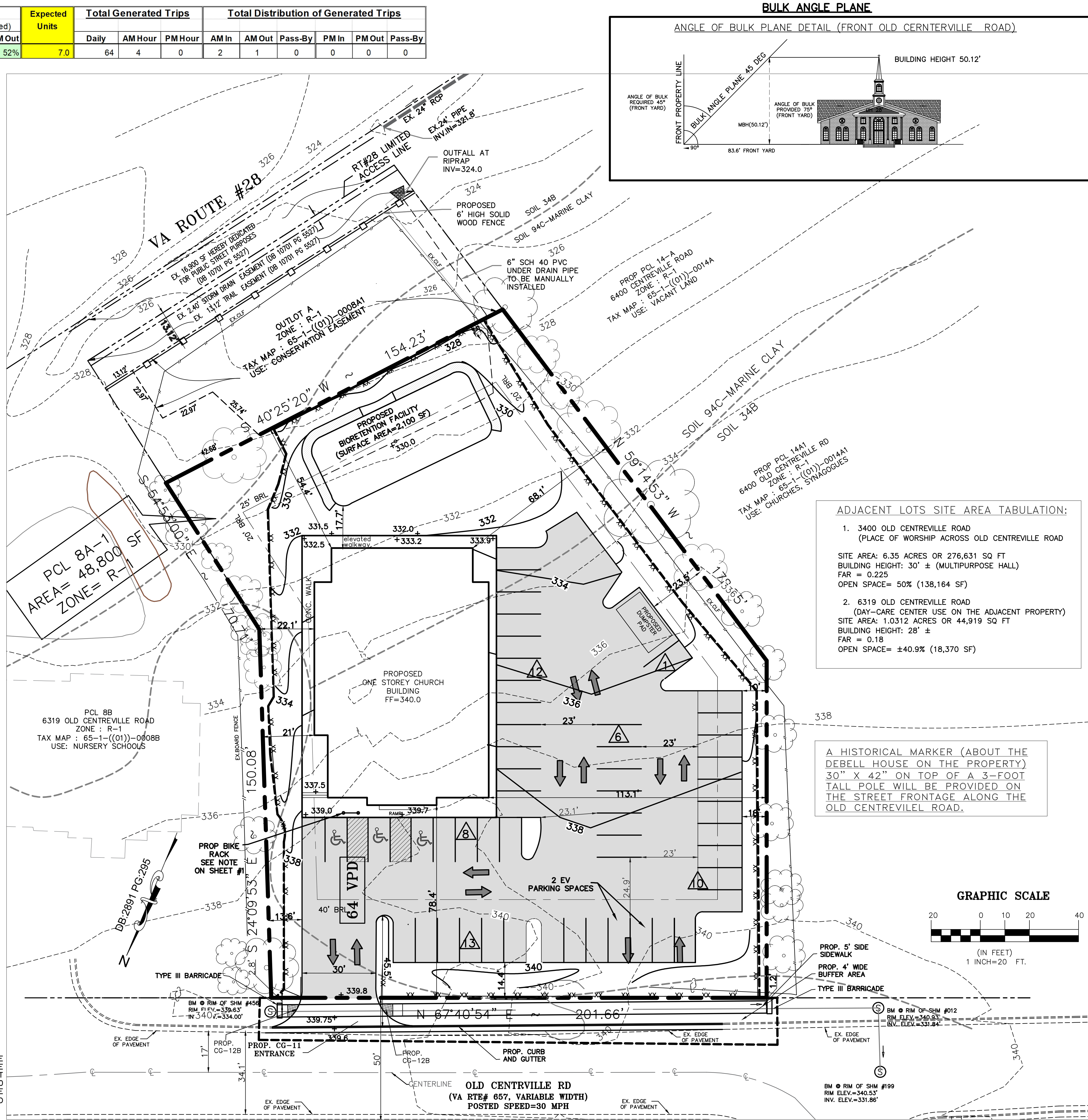
SITE/ZONING DATA FOR ZONING (R-1): USES INSTITUTIONAL - RELIGIOUS ASSEMBLY (CHURCH)

DESCRIPTION	REQUIRED	PROPOSED/EXISTING
1. MINIMUM LOT SIZE	36,000 SQ FT	57,238 SQ FT
2. MINIMUM LOT WIDTH/DEPTH	150 FT	187.06 FT
3. OPEN SPACE	N/A	N/A
4. MAXIMUM FLOOR AREA RATIO (FAR)	0.15	0.12
5. GROSS FLOOR AREA (GFA)	8,586 SQFT	6,974 SQ FT
6. PARKING SPACE	TOTAL SEATS OF WORSHIP=200 SEATS (50 PARKING SPACE)	50 SPACES
A. CHURCH		
1.0 SPACES PER FOUR (4) SEATS IN PRINCIPAL PLACE OF WORSHIP.		
HANDICAPPED SPACE	2	2
VAN ACCESSIBLE	1	1
LOADING SPACE	N/A	0
7. MAXIMUM HEIGHT	60 FT	50.12
8. TRANSITIONAL SCREEN/BARRIER:		
NORTH-EAST (USE: NURSERY SCHOOL)	NONE	N/A
NORTH (USE: EXISTING ROAD)	N/A	N/A
SOUTH-WEST (USE: CHURCH)	NONE	N/A
SOUTH-EAST (USE: RESIDENTIAL)	Type 2 Barrier D or E	WAIVER/MODIFICATION REQUEST
9. INTERIOR PARKING LOT LANDSCAPING	5 % OF THE TOTAL AREA OF THE PARKING LOT (1,439 SF)	7.3 % (OR 2,100 SF)
10. PERIPHERAL PARKING LANDSCAPING		
NORTH-EAST (USE: NURSERY SCHOOL)	NOT REQUIRED	N/A
SOUTH-WEST (USE: CHURCH)	NOT REQUIRED	N/A
NORTH (USE: ROAD)	10 FEET	10 FEET
EAST (USE: STREET ROW)	10 FEET	10 FEET

PROJECT DESCRIPTION :

THE APPLICANT IS THE OWNER OF SUBJECT LAND IDENTIFIED RECORDED AMONG THE FAIRFAX COUNTY TAX ASSESSMENT RECORDS AS 65-1-((01))-8C AND 65-1-((01))-0008A1. THE SUBJECT PROPERTY IS LOCATED AT 6321 OLD CENTREVILLE RD CENTREVILLE VA 20121. ZONED R-1 DISTRICT AND RECORDED IN DEED BOOK 25961 AT PAGE 595, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA. THE SUBJECT PROPERTY IS LOCATED IN THE SULLY DISTRICT. EXISTING IMPROVEMENTS ON THE SUBJECT PROPERTY CONSIST OF A TWO-STORY SINGLE FAMILY DWELLING THAT WAS CONSTRUCTED IN 1925. THE SURROUNDING USES ARE PRIMARILY RESIDENTIAL AND VACATES LANDS. THE APPLICANT PROPOSES TO CONSTRUCT A CHURCH ON THE SUBJECT PROPERTY. THE APPLICANT PROPOSES TO DEMOLISH THE EXISTING IMPROVEMENTS ON THE SUBJECT PROPERTY AND CONSTRUCT AN APPROXIMATELY 6,974 SQUARE FOOT ONE-STORY CHURCH BUILDING, AND 19,395 SQUARE FOOT PARKING AREAS, AND 2,101 SQUARE FOOT FOR SIDE WALKS.

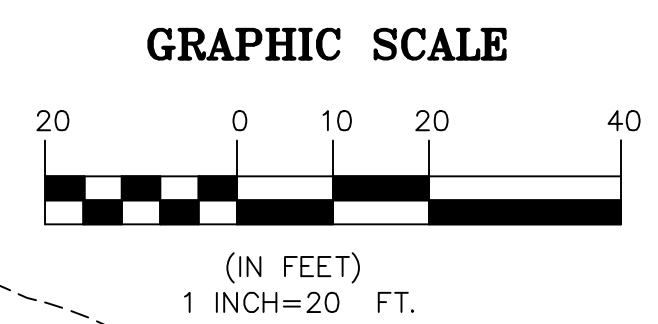
IN ACCORDANCE WITH CURRENT FAIRFAX COUNTY ZONING, CHURCH IS NOT ALLOWED BY RIGHT USES HOWEVER THE USE POTENTIALLY CAN BE OBTAINED THROUGH A SPECIAL PERMIT FOR R-1 ZONING. ANY STRUCTURE MUST BE SET WITHIN THE BUILDING RESTRICTION LINES AND THE MAXIMUM FLOOR AREA RATIO IS LIMITED TO 0.15, AS SET PER THE CURRENT ZONING ORDINANCE. ALSO, THE MAXIMUM AVERAGE BUILDING HEIGHT MAY NOT EXCEED 60 FEET FROM THE LOWEST OF EXISTING OR PROPOSED GRADES. OVERALL, THE NEW STRUCTURE MUST BE CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF FAIRFAX COUNTY PUBLIC FACILITY MANUAL (PFM) AND VDOT REQUIREMENTS.



ADJACENT LOTS SITE AREA TABULATION:

1. 3400 OLD CENTREVILLE ROAD
(PLACE OF WORSHIP ACROSS OLD CENTREVILLE ROAD)
SITE AREA: 6.35 ACRES OR 276,631 SQ FT
BUILDING HEIGHT: 30' ± (MULTIPURPOSE HALL)
FAR = 0.225
OPEN SPACE = 50% (138,164 SF)
2. 6319 OLD CENTREVILLE ROAD
(DAY-CARE CENTER USE ON THE ADJACENT PROPERTY)
SITE AREA: 1.0312 ACRES OR 44,919 SQ FT
BUILDING HEIGHT: 28' ±
FAR = 0.18
OPEN SPACE = ±40.9% (18,370 SF)

A HISTORICAL MARKER (ABOUT THE DEBELL HOUSE ON THE PROPERTY) 30" X 42" ON TOP OF A 3-FOOT TALL POLE WILL BE PROVIDED ON THE STREET FRONTAGE ALONG THE OLD CENTREVILLE ROAD.



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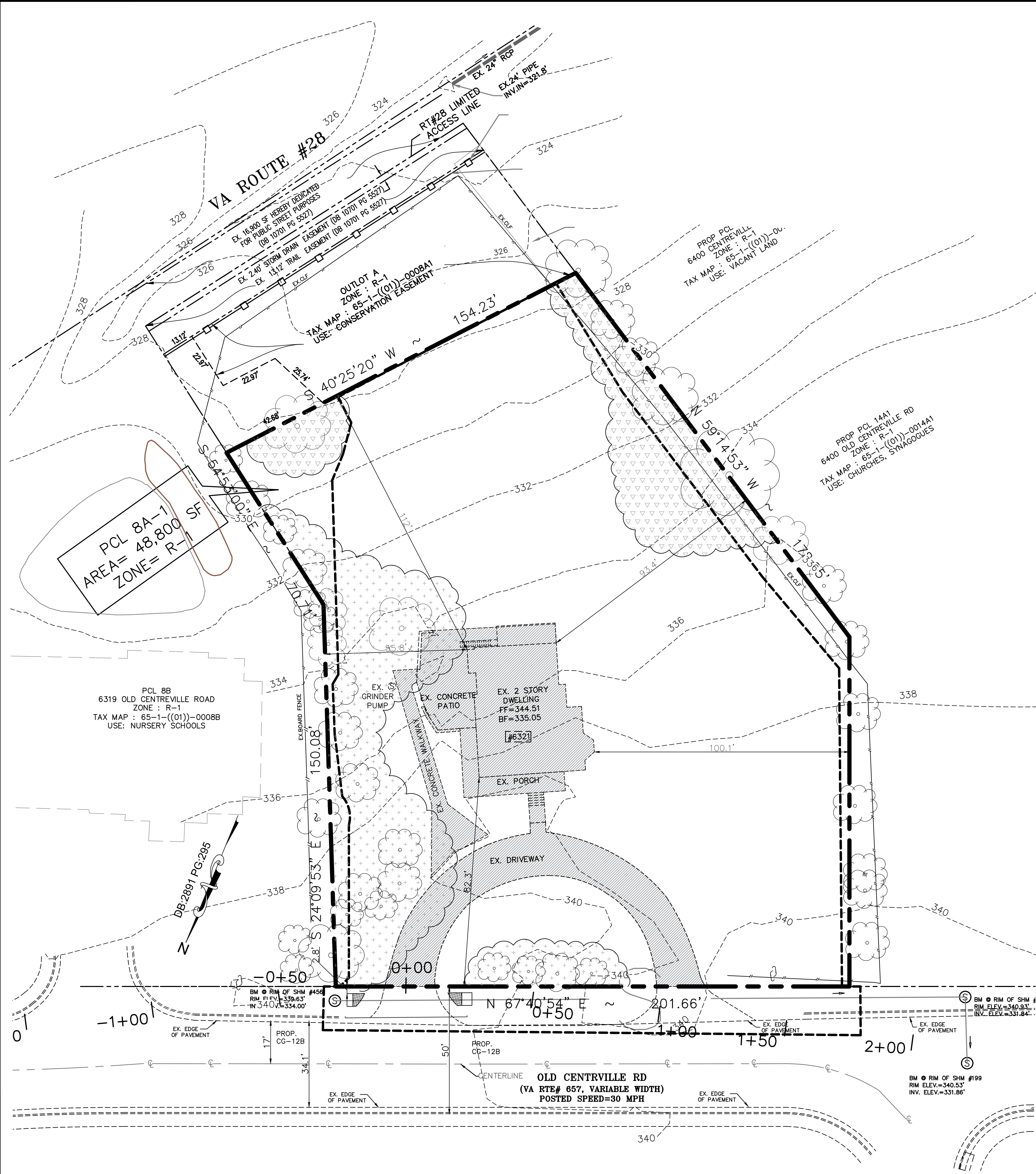
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COUNTY PLAN NUMBER # SP-2022-SU-000144

PROFESSIONAL SEAL
IBRAHIM A. CHEERAB
Lic. No. 022968
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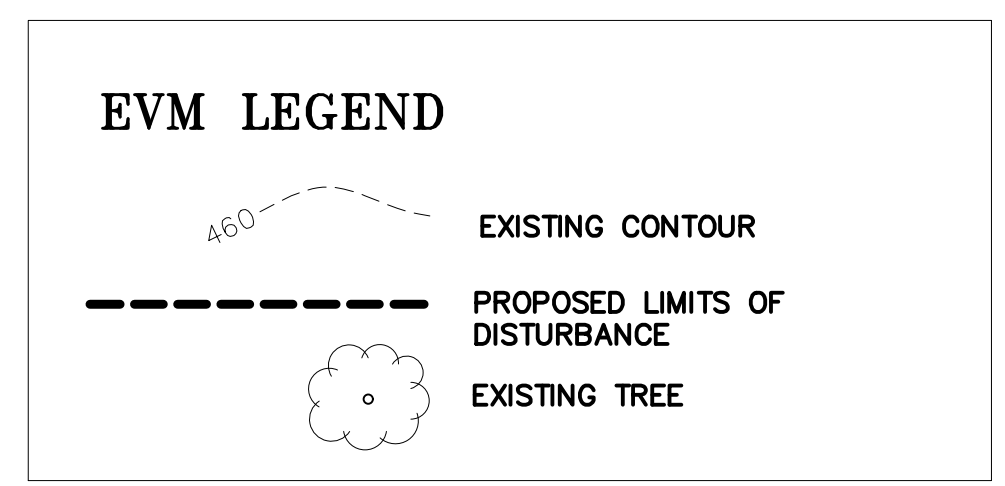
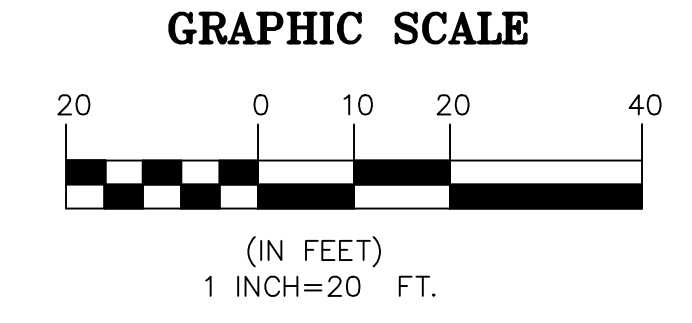
SPECIAL PERMIT PLAT
CHURCH
PCL 8A-1 & OUTLET A,
MILDRED K DEBELL TRUSTEE PROPERTY
6321 OLD CENTREVILLE ROAD
MAGISTERIAL DISTRICT: SULLY FAIRFAX COUNTY, VIRGINIA

TAX MAP: 65-1-((01))-0008C & 65-1-((01))-0008A1
DATE: OCT. 2024
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CHECKED BY: ABE
PROJECT #: 2020-4550
SCALE: 1"=20'
SHEET 3 OF 9



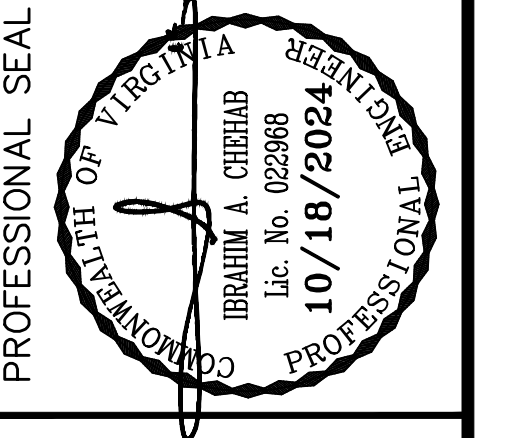
EXISTING VEGETATION SUMMARY

KEY	COVER TYPE	PRIMARY SPECIES	SUCCESSIONAL STAGE	CONDITION	AREA (SF)	COVER TYPE DESCRIPTION
[Hatched Box]	DEVELOPED LAND	N/A	N/A	N/A	6,452 SF	THIS AREA CONSISTS OF EX. DWELLING, DRIVEWAY, WALKWAY.
[Cross-hatched Box]	LANDSCAPED TREE CANOPY	RED MAPLE, AMERICAN HOLLY	MATURE	FAIR-GOOD	7,990 SF	COVER CONSISTS OF RED MAPLE, AMERICAN HOLLY TREES WITH FEW BLACK CHERRY, EASTERN HEMLOCK, BLUE SPRUCE TREES.
[Triangle-hatched Box]	UPLAND HARDWOODS	EASTERN HEMLOCK	MATURE	FAIR	4,293 SF	THIS COVER CONSISTS OF MATURE WHITE OAK, RED OAK AND PIGNUT HICKORY.
[Dotted Box]	MAINTAINED GRASSLANDS	N/A	N/A	FAIR	38,499 SF	THIS COVER TYPE CONTAINS MAINTAINED TURFGRASS.
TOTAL					57,238 SF	



REVISION BLOCK	NO.	DESCRIPTION	REV. BY	DATE	
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				NO.	DATE

COUNTY PLAN NUMBER # SP-2022-SU-000144



EXISTING VEGETATION MAP
CHURCH
PCL 8A-1 & OUTLET A,
MILDRED K DEBELL TRUSTEE PROPERTY
6321 OLD CENTREVILLE ROAD
 MAGISTERIAL DISTRICT: SULLY FAIRFAX COUNTY, VIRGINIA

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SHEET 4 OF 9

INTERIOR PARKING LOT LANDSCAPING CALCULATIONS:

PAVED PARKING AREA = 28,761 SF
 5% LANDSCAPING REQUIRED = 1,439 SF
 LANDSCAPING PROVIDED (PROPOSED) = 2,100 SF (10 TREES)

PERIPHERAL PARKING LOT LANDSCAPING CALCULATIONS:

(1) PROPERTY DOES NOT ABUT STREET RIGHT-OF-WAY
 LANDSCAPING STRIP BETWEEN PARKING LOT AND PROPERTY LINE PROVIDED.
 (2) PROPERTY ABUTS STREET RIGHT-OF-WAY
 10' WIDE LANDSCAPING STRIP BETWEEN PARKING LOT AND OLD CENTREVILLE ROAD HAS BEEN PROVIDED.
 TOTAL LENGTH OF PROPERTY LINE ALONG ROW=201.66'
 REQUIRED NUMBER OF TREES= 5.04 TREES @ 1 TREE PER 40 FEET.
 TOTAL NUMBER OF TREES PROVIDED(PROPOSED)=7

PROPOSED TREES FOR PERIPHERAL PARKING LOT LANDSCAPING ABUTTING ROW						
KEY	CATEGORY	QTY	STOCK SIZE (HT/CALIPER)	10-YR TREE CANOPY (SF)	TREE CANOPY SUB-TOTAL (SF)	
	CATEGORY II EVERGREEN	7	8' HEIGHT	BB	100	700
					SUB-TOTAL=	700 SF

PROPOSED TREES FOR INTERIOR PARKING LOT LANDSCAPING						
KEY	CATEGORY	QTY	STOCK SIZE (HT/CALIPER)	STOCK TYPE	10-YR TREE CANOPY (SF)	TREE CANOPY SUB-TOTAL (SF)
	CATEGORY III DECIDUOUS	10	2" CALIPER	BB	175	1750
					SUB-TOTAL=	1750 SF

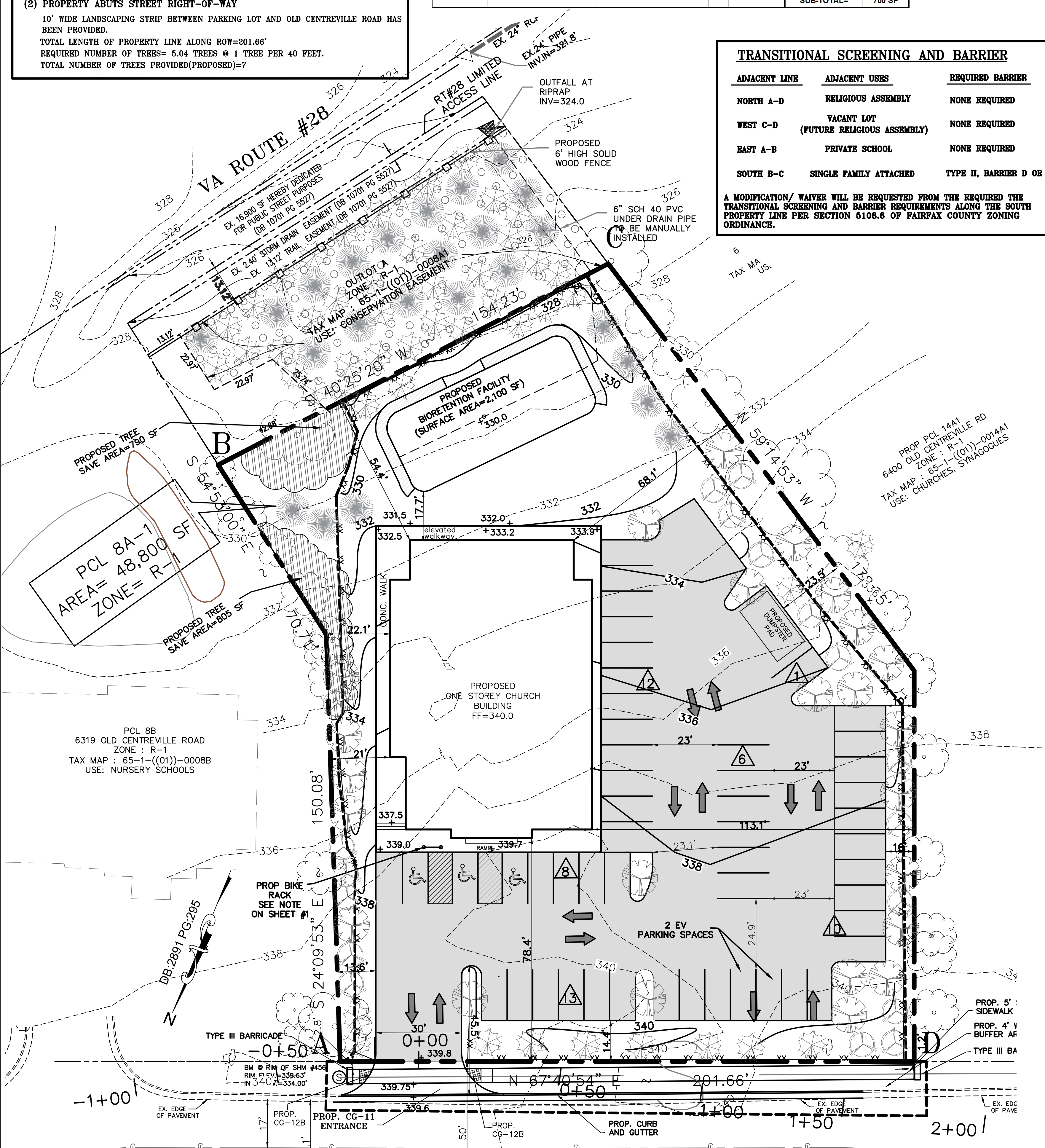
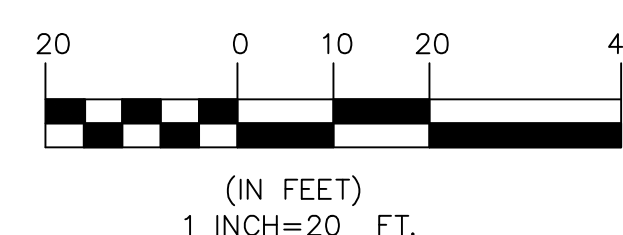
PROPOSED TREES FOR GENERAL LANDSCAPING						
KEY	CATEGORY	QTY	STOCK SIZE (HT/CALIPER)	STOCK TYPE	10-YR TREE CANOPY (SF)	TREE CANOPY SUB-TOTAL (SF)
	CATEGORY IV DECIDUOUS	7	3" CALIPER	BB	250	1750
	CATEGORY III DECIDUOUS	14	3" CALIPER	BB	175	2450
	CATEGORY II DECIDUOUS	18	2" CALIPER	BB	100	1800
	CATEGORY II EVERGREEN	8	8' HEIGHT	BB	100	800
					SUB-TOTAL=	6800 SF

TRANSITIONAL SCREENING AND BARRIER

ADJACENT LINE	ADJACENT USES	REQUIRED BARRIER
NORTH A-D	RELIGIOUS ASSEMBLY	NONE REQUIRED
WEST C-D	VACANT LOT (FUTURE RELIGIOUS ASSEMBLY)	NONE REQUIRED
EAST A-B	PRIVATE SCHOOL	NONE REQUIRED
SOUTH B-C	SINGLE FAMILY ATTACHED	TYPE II, BARRIER D OR E

A MODIFICATION/ WAIVER WILL BE REQUESTED FROM THE REQUIRED THE TRANSITIONAL SCREENING AND BARRIER REQUIREMENTS ALONG THE SOUTH PROPERTY LINE PER SECTION 5108.6 OF FAIRFAX COUNTY ZONING ORDINANCE.

GRAPHIC SCALE



REFORESTATION PLAN FOR CONSERVATION EASEMENT:

TOTAL AREA OF CONSERVATION EASEMENT = 6,676 SF OR 0.153 AC
 TOTAL AREA OF REFORESTATION = 0.153 ACRES

REQUIRED 1.5" CALIPER TREES (DECIDUOUS TREES) (109/ACRE)=16.68
 REQUIRED 3/4" CALIPER TREES (EVERGREEN TREES) (218/ACRE)=33.35
 REQUIRED 1 GAL SHRUBS (654/ACRE)=100.06
 REQUIRED PERENNIAL HERBACEOUS SEED MIX (30LB/ACRE)= 4.59 LBS

PROPOSED 1.5" CALIPER TREES (DECIDUOUS TREES) =17
 REQUIRED 3/4" CALIPER TREES (EVERGREEN TREES)=34
 PROPOSED 1 GAL SHRUBS=101
 PROPOSED PERENNIAL HERBACEOUS SEED MIX (GROUND COVER)= 5 LBS

NO 10-YR CANOPY CREDIT WILL BE AFFORDED TO THE TREES PLANTED IN THE CONSERVATION EASEMENT PER THE REFORESTATION PLAN.

PROPOSED TREES FOR REFORESTATION ON CONSERVATION EASEMENT

KEY	TYPE	QTY	STOCK SIZE (CONT/CALIPER)
	CATEGORY IV DECIDUOUS TREE	17	1/2" CALIPER
	CATEGORY II EVERGREEN TREE	34	8' HEIGHT
	NATIVE SHRUBS	101	1 GALLON

SOIL REMEDIATION STEPS:

SOIL IN PLANTING AREAS WILL BE RESTORED PER FOLLOWING STEPS FOR THE ESTABLISHMENT AND LONG-TERM SURVIVAL OF LANDSCAPE PLANTS.

STEP ONE: APPLY 4 INCHES OF COMPOST OVER SURFACE SPREAD MATURE, STABLE COMPOST (SEE DEFINITIONS BELOW FOR DEFINITION OF STABLE COMPOST) TO A 4 INCH DEPTH OVER COMPACTED SUBSOIL.

STEP TWO: SUBSOIL WITH BACKHOE TO 24 INCH DEPTH SUBSOILING SHOULD BE PERFORMED WHEN SOIL IS NEITHER WET NOR DRY. USE A BACKHOE REARBUCKET OR SIMILAR EQUIPMENT WITH A TINED BUCKET TO BREAK UP THE COMPACTED SOIL AND INCORPORATE THE COMPOST. WORK BACKWARDS AWAY FROM EXCAVATED SOILS SO THAT TREATED SOIL IS NOT TRAFFICKED BY THE EQUIPMENT. INSERT THE BUCKET THROUGH THE COMPOST LAYER AND INTO THE SUBSOIL TO A DEPTH OF 24 INCHES AND RAISE A BUCKET OF SOIL A FEW FEET ABOVE THE SOIL SURFACE. TIP THE BUCKET AND ALLOW SOIL TO FALL. REPEAT THIS PROCEDURE UNTIL NO CLUMPS OF COMPACTED SOIL LARGER THAN 12 INCHES IN DIAMETER REMAIN. THE TINES OF THE BUCKET CAN BE USED TO BREAK APART LARGER CLUMPS IF NECESSARY. CONTINUE TO BREAK UP CLUMPS UNTIL AT LEAST 50% OF THE SOIL IS IN CLUMPS 6 INCHES OR SMALLER. A PUSH TUBE SOIL SAMPLER CAN BE USED TO VERIFY COMPOST IS PRESENT AT 24 INCH DEPTH IF NEEDED. THE SUBSOILING IS NOT INTENDED TO HOMOGENIZE THE COMPOST AND SOIL, BUT RATHER LOOSEN THE SOIL TO A 24-INCH DEPTH AND CREATE VEINS OF COMPOST DOWN TO THAT DEPTH AS WELL.

STEP THREE: REPLACE OR ADD TOPSOIL STANDARD PROCEDURE NO TOPSOIL WAS PRESENT DURING SUBSOILING RETURN STOCKPILED TOPSOIL OR ADDITIONAL TOPSOIL IF NONE IS AVAILABLE FROM THE SITE, TO THE SOIL SURFACE TO A 4-INCH MINIMUM DEPTH. IF SOIL WAS SEVERELY DISTURBED (FOR EXAMPLE, THE GRADE WAS LOWERED, OR THE SITE WAS COMPACTED IN LIFTS), 6-8 INCHES SHOULD BE USED. MODIFIED PROCEDURE-SIGNIFICANT TOPSOIL WAS ALREADY PRESENT BEFORE SUBSOILING SOMEWHAT LESS TOPSOIL CAN BE USED IF SIGNIFICANT TOPSOIL WAS ALREADY PRESENT BEFORE SUBSOILING, BUT ALWAYS APPLY AT LEAST 3 INCHES SINCE MUCH OF THE PRE-EXISTING TOPSOIL WILL HAVE BECOME INCORPORATED IN THE SUBSOIL.

STEP FOUR: TILL THE TOPSOIL AND BREAK UP THE TOPSOIL SUBSOIL INTERFACE ROTOTILL TOPSOIL TO A DEPTH OF 6-8 INCHES WHEN SOIL IS NEITHER DRY NOR VERY MOIST. ROTOTILLING DEPTH SHOULD IDEALLY CROSS THE INTERFACE WITH THE SUBSOILED LAYER.

TABLE 12.9 10-YEAR TREE CANOPY CALCULATION WORKSHEET

TABLE 12.9 10-YEAR TREE CANOPY CALCULATION WORKSHEET		TOTAL
B. TREE CANOPY REQUIREMENT		
B1	GROSS SITE AREA-	57238 SF
B2	SUBTRACT TO PARKS, ROAD FRONTAGE AND OTHERS-	0 SF
B3	SUBTRACT AREA OF EXEMPTIONS-	0 SF
B4	ADJUSTED GROSS SITE AREA (B1-B2)-	57238 SF
B5	SITE ZONE/USE-	R-1
B6	PERCENT OF 10-YEAR TREE CANOPY REQUIRED-	30%
B7	AREA OF 10-YEAR TREE CANOPY REQUIRED (B4xB6)-	17171 SF
C. TREE PRESERVATION		
C1	TREE PRESERVATION TARGET AREA-	3685 SF
C2	TOTAL CANOPY AREA MEETING STANDARDS OF § 12-0400-	1595 SF
C3	TOTAL CANOPY AREA PROVIDED BY UNIQUE OR VALUABLE FOREST OR WOODLAND COMMUNITIES-	0 SF
C4	TOTAL OF CANOPY AREA PROVIDED BY "HERITAGE", "MEMORIAL", "SPECIMEN" OR "STREET" TREES-	0 SF
C5	TOTAL OF CANOPY AREA PROVIDED BY "HERITAGE", "MEMORIAL", "SPECIMEN" OR "STREET" TREES-	0 SF
C6	CANOPY OF TREES WITHIN THE RESOURCE PROTECTION AREAS AND 100-YEAR FLOODPLAINS-	0 SF
C7	CANOPY OF TREES WITHIN THE RESOURCE PROTECTION AREAS AND 100-YEAR FLOODPLAINS-	0 SF
C8	CANOPY OF TREES WITHIN THE RESOURCE PROTECTION AREAS AND 100-YEAR FLOODPLAINS-	0 SF
C9	CANOPY OF TREES WITHIN THE RESOURCE PROTECTION AREAS AND 100-YEAR FLOODPLAINS-	0 SF
C10	TOTAL OF C3, C5, C7 AND C9-	1595 SF
D. TREE PLANTING		
D1	AREA OF CANOPY TO BE MET THROUGH TREE PLANTING (B7-C10)-	15676 SF
D2	AREA OF CANOPY FOR AIR QUALITY BENEFITS-	0 SF
D3	AREA OF TREE PLANTED FOR ENERGY CONSERVATION-	0 SF
D4	AREA OF TREE PLANTED FOR WATER QUALITY BENEFITS-	0 SF
D5	AREA OF TREE PLANTED FOR WATER QUALITY BENEFITS-	0 SF
D6	AREA OF TREE PLANTED FOR WATER QUALITY BENEFITS-	0 SF
D7	AREA OF CANOPY PLANTED FOR WILDLIFE BENEFITS-	0 SF
D8	AREA OF CANOPY PLANTED FOR WILDLIFE BENEFITS-	0 SF
D9	AREA OF CANOPY PROVIDED BY NATIVE TREES-	9250 SF
D10	AREA OF CANOPY PROVIDED BY NATIVE TREES-	9250 SF
D11	AREA OF CANOPY PROVIDED BY NATIVE TREES-	13875 SF
D12	AREA OF CANOPY PROVIDED ON CONSERVATION EASEMENTS-	6676 SF
D13	AREA OF CANOPY PROVIDED THROUGH TREE SEEDINGS-	0 SF
D14	AREA OF CANOPY PROVIDED THROUGH TREE SEEDINGS-	0 SF
D15	AREA OF CANOPY TO BE PLANTED WITH NO BENEFIT CREDIT	0 SF
D16	PERCENTAGE OF D14 REPRESENTED BY D15-	0 SF
D17	AREA OF CANOPY CREDIT FOR PLANTING WITH NO ADDED CREDIT-	0 SF
D18	TOTAL OF CANOPY AREA PROVIDED THROUGH TREE PLANTING-	20551 SF
D19	IS AN OFFSITE PLANTING RELIEF REQUESTED?	NO
D20	TREE BANK OR TREE FUND?	NO
D21	CANOPY AREA REQUESTED TO BE PROVIDED THROUGH OFFSITE BANKING OR TREE FUNDS-	0 SF
D22	AMOUNT TO BE DEPOSITED INTO THE TREE PRESERVATION AND PLANTING FUND-	0 SF
E. TOTAL OF 10-YEAR TREE CANOPY PROVIDED		
E1	TOTAL OF CANOPY AREA PROVIDED THROUGH TREE PRESERVATION (C10)-	1595 SF
E2	TOTAL OF CANOPY AREA PROVIDED THROUGH TREE PLANTING (D18)-	20551 SF
E3	TOTAL OF CANOPY AREA PROVIDED THROUGH TREE PLANTING (D18)-	0 SF
E4	TOTAL OF 10-YEAR TREE CANOPY PROVIDED (E1+E2+E3)-	22146 SF

REVISION BLOCK	NO.	DESCRIPTION	REV. BY	DATE
4.	4th REVISION			10/18/2024
3.	3RD REVISION			08/14/2024
2.	2ND REVISION			05/15/2024
1.	1ST REVISION			10/10/2023

PROFESSIONAL SEAL
 I, **IBRAHIM A. CHEER**
 Lic. No. 023968
 10/18/2024

LANDSCAPE PLAN
CHURCH
PCL 8A-1 & OUTLET A,
MILDRED K DEBELL TRUSTEE PROPERTY
6321 OLD CENTREVILLE ROAD
 FAIRFAX COUNTY, VIRGINIA
 MAGISTERIAL DISTRICT: SULLY

TAX MAP: 65-1-((01))-0008C & 65-1-((01))-0008A1
 DATE: OCT. 2024
 PREPARED BY: BF
 CHECKED BY: ABE
 PROJECT #: 2020-4550
 SCALE: 1"=20'
 SHEET 5 OF 9

IMPERVIOUS AREA COMPUTATION (SQ FT)

DESCRIPTION	TOTAL IMP. AREA	
	PRE-DEV	POST-DEV
DWELLING	1,968	6,974
DRIVEWAY/PARKING AREA	2,650	19,395
WALKWAY AND STEPS	696	2,101
FRONT PORCH	456	-
CONCRETE PATIO	1,057	-
TOTAL IMPERVIOUS AREA (SQ FT)	6,827	28,470
TURF AREA (SQ FT)	50,411	28,768
TOTAL SITE AREA (SQ FT)	57,238	57,238
INCREASE IN IMPERVIOUSNESS = 21643 SQ FT OR	37.8%	OF THE EXISTING IMP. AREA
TOTAL % OF IMPERVIOUS AREA =	(28470 x 100%) = 57238	49.7%
VOLUME DETAINED BY BMP (CU FT)	4688.25	
(IMP AREA CONVERSION FROM 0.9 TO 0.25 C VALUE DUE TO DETENTION) (SQ FT)	21,976	10YR

"C" FACTORS CALCULATION

A. PRE-DEVELOPMENT
 $= (6827 \times 0.9 + 50411 \times 0.25) = 0.33$
 57238

B. POST-DEVELOPMENT (UNDETAINED)
 $= (28470 \times 0.9 + 28768 \times 0.25) = 0.57$
 57238

C. POST-DEVELOPMENT (DETAILED)
 $= (6493.8 \times 0.9 + 50744.2 \times 0.25) = 0.32$
 57238

RUNOFF COMPUTATION (Q=CIA)

$Q2 = (0.33 \times 5.23 \times 1.314) = 2.27$ CFS
 $Q10 = (0.33 \times 6.77 \times 1.314) = 2.94$ CFS

(5 MIN Tc) $Q2 = (0.57 \times 5.23 \times 1.314) = 3.92$ CFS
 $Q10 = (0.57 \times 6.77 \times 1.314) = 5.07$ CFS

(5 MIN Tc) $Q2 = (0.324 \times 5.23 \times 1.314) = 2.23$ CFS
 $Q10 = (0.324 \times 6.77 \times 1.314) = 2.88$ CFS

$Q10 = 2.88 - 2.94 = -0.05$ CFS
$Q2 = 2.23 - 2.27 = -0.04$ CFS

* The weighted C value is calculated by assuming the area being detained for the 10-year has a C value of 0.25. This accounts for the benefit of the detention to grass covered conditions without assuming it disappears completely.

PRELIMINARY WATER QUALITY (BMP) NARRATIVE:

BMP REQUIREMENTS FOR THIS SITE WILL BE MET THROUGH THE USE OF A LEVEL-2 BIO-RETENTION FACILITY. MOST OF THE RUNOFF FROM THE IMPERVIOUS AREAS FROM THE SITE WILL BE DIRECTED TO THE BIO-RETENTION FACILITY. THE PROPOSED FACILITY PROVIDED WITH FINAL ENGINEERING SHALL COMPLY WITH SECTION 9VAC25-870-65 OF THE VIRGINIA STATE CODE FOR WATER QUALITY AND THE LATEST VERSION OF THE FAIRFAX COUNTY PFM.

PER SECTION 124-4-3A OF THE COUNTY CODE, THE BMP COMPUTATIONS FOR THE SITE WILL UTILIZE THE 2016 DEQ VIRGINIA RUNOFF REDUCTION METHOD (VRRM) SPREADSHEET. THE SITE TAB SHOWS THAT A TOTAL OF 1.0 LB OF P WILL BE GENERATED BY THIS DEVELOPMENT. THE WATER QUALITY COMPLIANCE TAB SHOWS THAT A TOTAL P REDUCTION OF 1.27 LBS WILL BE PROVIDED VIA THE BIO-RETENTION FACILITY. PRELIMINARY COMPUTATIONS HAS BEEN PROVIDED ON SHEET 7.

THE POTENTIAL BMP/SWM FACILITY SHOWN WITH THIS APPLICATION IS PRELIMINARY ONLY.

PRELIMINARY OUTFALL NOTE:

OUTFALL LOCATIONS, DRAINAGE AREAS AND FACILITIES SHOWN HEREON ARE CONCEPTUAL ONLY. THE ADEQUATE OUTFALL ANALYSIS, SITE LAYOUT AND CALCULATIONS SHOWN WITH THE APPLICATION ARE FOR PRELIMINARY PURPOSES ONLY. THEY ARE ALL SUBJECT TO CHANGE DURING THE FINAL SITE PLAN PHASE.

VA DEQ STORMWATER DESIGN SPEC NO. 9 (TABLE 9.3) LEVEL 2 DESIGN

BIORETENTION BASIN SIZING

CONTRIBUTING DRAINAGE AREA (CDA): 30479 SQ FT OR 0.70 ACRES
 IS DRAINAGE AREA < OR = 2.5 ACRES?: **YES, DESIGN OK** DEQ SPECS 9, TABLE 9.4
 IMPERVIOUS AREA: 27529 SQ FT 0.63 ACRES
 IS IMPERVIOUS AREA < OR = 2.5 ACRES?: **YES, DESIGN OK** DEQ SPECS 9, TABLE 9.4

SURFACE AREA COMPUTATION

VOID RATIOS (SECTION 6.1.1)
 MEDIA DEPTH: 3.3 FT OR 39.96 INCH Vr SOIL MEDIA= 0.25
 GRAVEL STORAGE (UNDERNEATH): 1.0 OR 12 INCH Vr GRAVEL= 0.40
 POINTING DEPTH: 1.0 FT OR 12 INCH SURFACE STORAGE= 1.00
 EQUIVALENT STORAGE DEPTH: (3.33FTx0.25)+(1FTx0.40)+(1FTx1.0)= 2.2 FT
 TREATMENT VOLUME, Tv: 1.25x(Rv)x(CONTRIBUTING DRAINAGE AREA, CDA)x12 CU FT
 = 1.1875x30479/12 CU FT= 3016 CU FT

10-yr VOLUME COMPUTATION

10-YR VOLUME: (RAINFALL INTENSITY I10/12)x(POST.IMP-PRE.IMP)
 = (2.56/12)x(28470-6827) CU FT
 = 4609.96 CU FT

BIORETENTION BASIN DESIGN CONTROL

10-YR VOLUME = 4610 CU FT

SURFACE AREA COMPUTATION

SURFACE AREA, SA: 10-YR VOLUME/EQUIVALENT STORAGE DEPTH
 = 4610 CU FT/2.2325 FT
 = 2065 SF

APPROX. LENGTH: 70.0 FT
 APPROX. WIDTH: 30.0 FT 2100 SQFT PROVIDED

STORAGE PROVIDED: 4688.25 STORAGE REQUIRED (10 YR VOLUME) 4609.96 **YES, DESIGN OK**

FILTER MEDIA

FILTER MEDIA DEPTH: 40 (24 TO 72 INCHES ALLOWED)
 FILTER MEDIA TYPE: SUPPLIED BY VENDOR, TESTED FOR PHOSPHORUS (P) INDEX
 P-INDEX: 10-30 OR 7-21 MG/KG OF PHOSPHORUS IN THE SOIL MEDIA
 SUB-SOIL TESTING: ONE PER PRACTICE

UNDERDRAIN

NO UNDERDRAIN PROVIDED
 UNDERDRAIN: N/A
 MIN. IN FILTRATION RATE: 0.5 IN/HR (MIN. 0.5 INCH/HR WITH NO UNDERDRAIN)
 INFLOW: SHEET FLOW, CONC. FLOW OR EQUIVALENT
 PRE-TREATMENT: ROOF GUTTER SCREEN, GRASS STRIP, GRAVEL DIAPHRAGM, OR EQUIV.

PLANTINGS : SHRUBS & TREES

TREE MIN 1" CALIPER (PFM 6-1313.6E) & MIN 3 COUNTS OF TREE (PFM 6-1307.10G(1)(b))
 21 COUNT riverbirch 7 red maple 7 far 7
 @ 10 trees per 1,000 Sqft of basin (PFM 6-1307.10G(1)(a))
 SHRUBS (MIN 2 GAL) (PFM 6-1307.10D): 53 COUNT Inkberry: 18 Swamp azalea: 18 od: 17

MINIMUM SETBACK REQUIRED

FROM BUILDING(DEQ SPECS 9, TABLE 9.4) 10 FT DOWN-GRADIENT; 50 FT UP-GRADIENT
 FROM PROPERTY LINE (PFM 6-1307.2F) 2 FT FROM THE PROPERTY LINES

MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

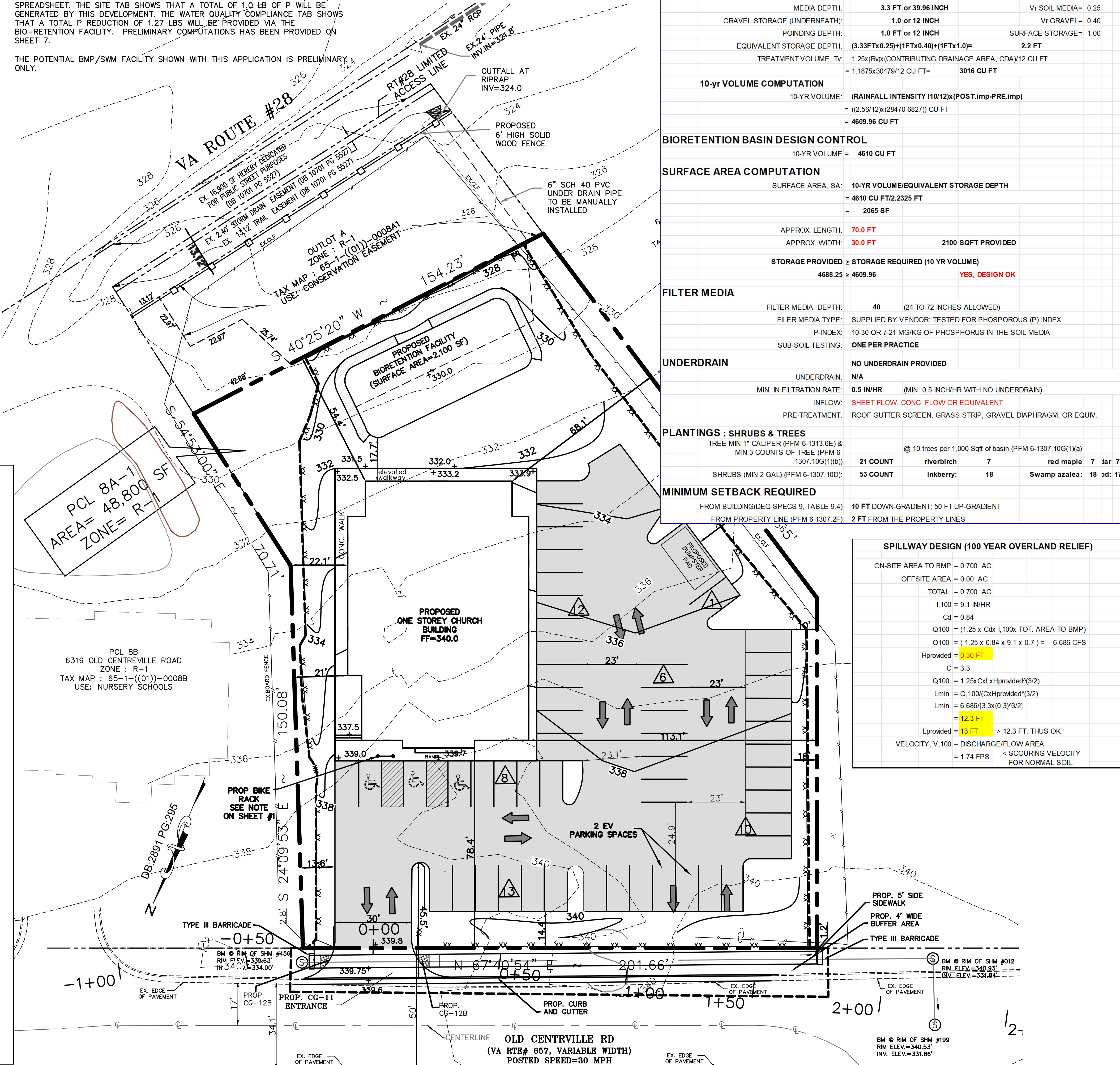
The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under Zoning Ordinance subsection 8101.1.G.

- Plat is at a minimum scale of 1"=50' (Unless it is depicted on one sheet with a minimum scale of 1"=100')
- A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures as shown on Sheet(s) 6.
 If infiltration is proposed the soils should be tested for suitability prior to submission of the development plan and results of the infiltration test provided as part of the description of the facility.
- Provide:

Facility Name/ Type & No.	On-site area served (acres)	Off-site area served (acres)	Drainage area (acres)	Footprint area (sf)	Storage volume (cf)	If pond, dam height (ft.)
6.8. BIORETENTION #2 (SPEC #9)	0.70 ACRES		0.70 ACRES	2,100 SF	4,688 CF	N/A
Totals:	0.70 ACRES		0.70 ACRES	2,100 SF	4,688 CF	N/A
- Onsite drainage channels, outfalls and pipe systems are shown on Sheet(s) 6. Pond inlet and outlet pipe systems are shown on Sheet(s) N/A.
- Maintenance access (road) to stormwater management facility(ies) are shown on Sheet(s) N/A.
 Type of maintenance access road surface noted on the plat is N/A (asphalt, geoblock, gravel, etc.)
- Landscaping and tree preservation in and near the stormwater management facility is shown on Sheet(s) N/A.
- Stormwater management and BMP narratives including Virginia Runoff Reduction Spreadsheet and descriptions of how detention and best management practices requirements will be met are provided on Sheet(s) 7.
- A description of existing conditions of each numbered site outfall extended downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet(s) 6. If the outfall is proposed to be improved off-site it should be specifically noted.
- A detailed description and analysis of how the channel protection requirements and flood protection requirements of each numbered outfall will be satisfied per Stormwater Management Ordinance and Public Facilities Manual are provided on Sheet(s) 6.
- Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheet(s) 2.
- A submission waiver is required for N/A.
- Stormwater management is not required because N/A.

Revised: 8/4/2015 Zoning Ordinance Citation only revised 7/1/2021



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 www.geoenv1.com

REVISION BLOCK	DATE	DESCRIPTION
4.	10/18/2024	4th REVISION
3.	08/14/2024	3RD REVISION
2.	05/15/2024	2ND REVISION
1.	10/10/2023	1ST REVISION
NO.		DATE

PROFESSIONAL SEAL	DESCRIPTION
 IBRAHIM A. CHEHAB Lic. No. 022668 10/18/2024 PROFESSIONAL	COUNTY PLAN NUMBER # SP-2022-SU-000144

PRELIMINARY STORMWATER MANAGEMENT PLANS

CHURCH

PCL 8A-1 & OUTLET A,

MILDRED K DEBELL TRUSTEE PROPERTY

6321 OLD CENTREVILLE ROAD

FAIRFAX COUNTY, VIRGINIA

MAGISTERIAL DISTRICT: SULLY

TAX MAP: 65-1-((01))-0008C & 65-1-((01))-0008A1
DATE: OCT. 2024
PREPARED BY: BF
CHECKED BY: ABE
PROJECT # 2020-4550
SCALE: 1"=20'
SHEET 6 OF 9

PRELIMINARY STORMWATER MANAGEMENT & ADEQUATE OUTFALL NARRATIVE:

THE SITE IS COMPRISED OF ONE DRAINAGE DIVIDE FOR THE ENTIRE SITE OF 1.3 ACRES (SEE SHEET 6). STORM WATER MANAGEMENT FOR BOTH WATER QUALITY AND WATER QUANTITY WILL BE PROVIDED THROUGH AN ONSITE BIO RETENTION BASIN. THE RUNOFF FROM THE ENTIRE LOT CURRENTLY FLOWS TO THE SOUTHWEST DIRECTION TO A VACANT OUTLOT AND THEN IT FLOWS TO THE INTO CLOSED STORM DRAIN SYSTEM THAT RUNS PARALLEL TO ROUTE #28. THE CLOSED SYSTEM CONVEYS THE FLOW TOWARDS THE WEST DIRECTION, FLOWS ACROSS ROUTE 28 THROUGH CLOSED SYSTEM AND DISCHARGES THE RUNOFF AT 6409 CENTREVILLE RD (SWM #3-OUTFALL 46-11, RT#28 EXPANSION PLAN PROVIDED ON THIS SHEET) WHICH HAS BEEN UTILIZED BY VDOT TO PROVIDE SWM/BMP FACILITY FOR THE ROUTE #28 EXPANSION PROJECT. THE RUNOFF THEN FLOWS TO THE EXISTING DRY DETENTION POND DP1141. THE EXISTING DETENTION POND THEN CONVEYS THE FLOW TOWARDS SOUTH DIRECTIONS, UNTIL IT OUTFALLS INTO LITTLE ROCKY RUN.

CHANNEL PROTECTION:

EXTENT OF ANALYSIS:
THE ALTERNATIVE LIMIT OF ANALYSIS UNDER SECTION 124-4-4.B6C, STATES "THE EXTENT OF ANALYSIS WILL BE TO A POINT 150 FT. DOWNSTREAM OF WHERE THE RECEIVING PIPE OR CHANNEL IS JOINED BY ANOTHER THAT IS AT LEAST 90% OF THE SIZE OF THE FIRST DRAINAGE AREA AT THE POINT OF CONFLUENCE".

THE TOTAL SITE AREA IS 1.3 ACRES AND DRAINS TO THE EXISTING 24" RCP LOCATED WITHIN THE RIGHT OF RT #28. ABOUT 7.9 ACRES OF UPSTREAM OFF-SITE AREAS DRAIN TO THIS 24" RCP. AT THIS LOCATION (THE POINT OF CONFLUENCE OF BOTH THESE DRAINAGE AREAS), THE TOTAL OFFSITE DRAINAGE AREA CONVEYED TO THE EXISTING 24" RCP IS THEREFORE GREATER THAT 90% OF THE ONSITE DRAINAGE AREA (1.3 AC).

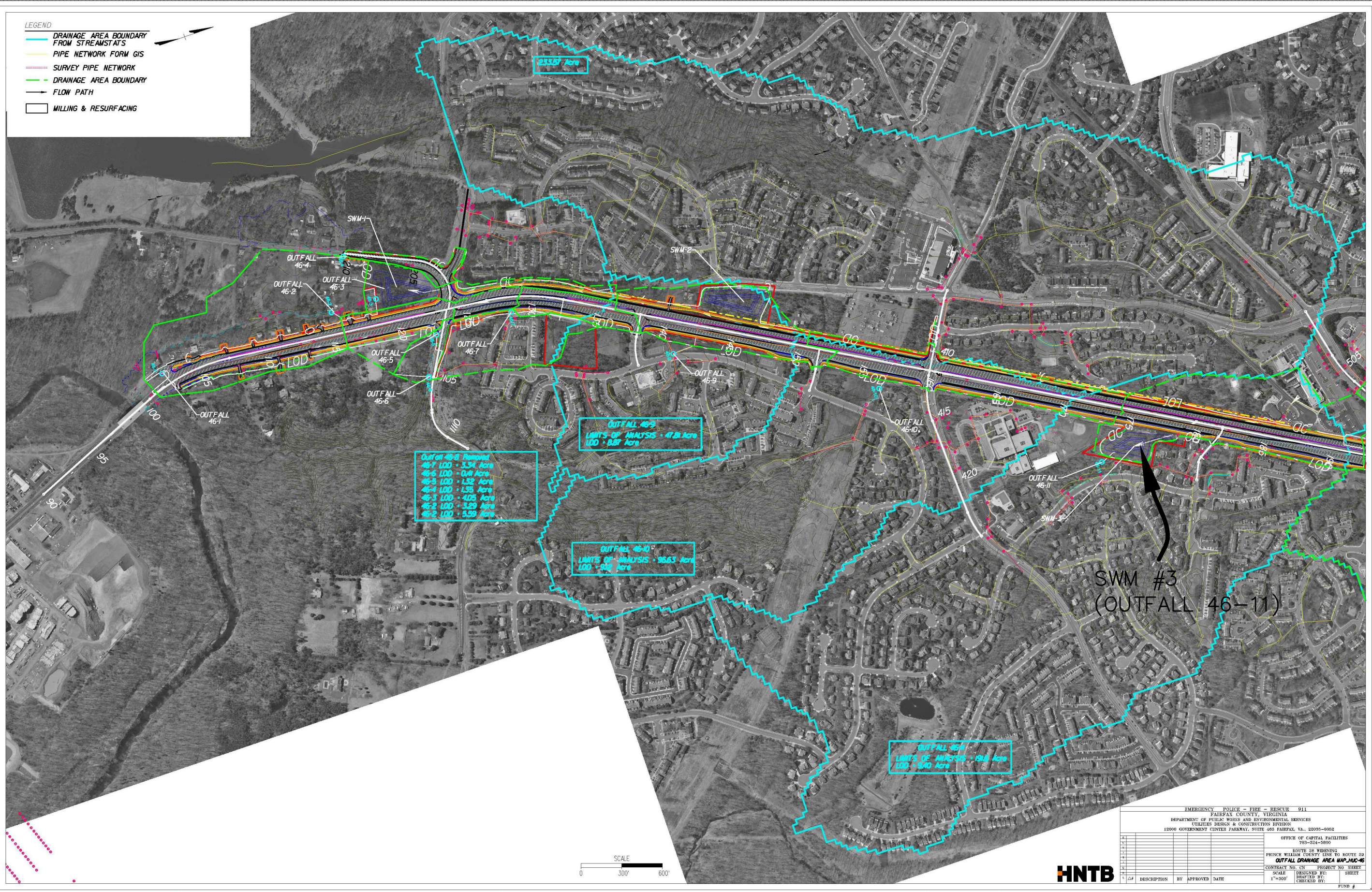
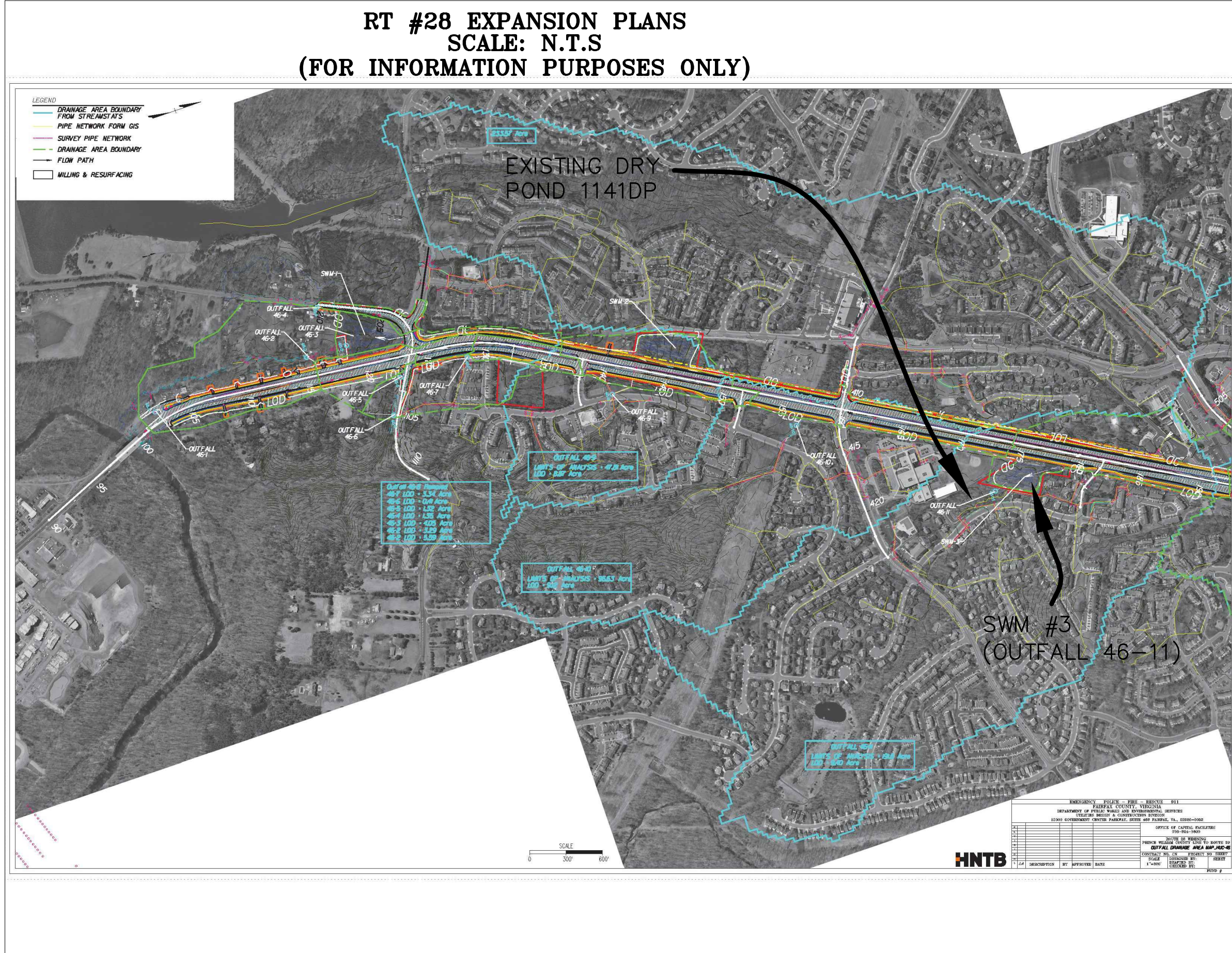
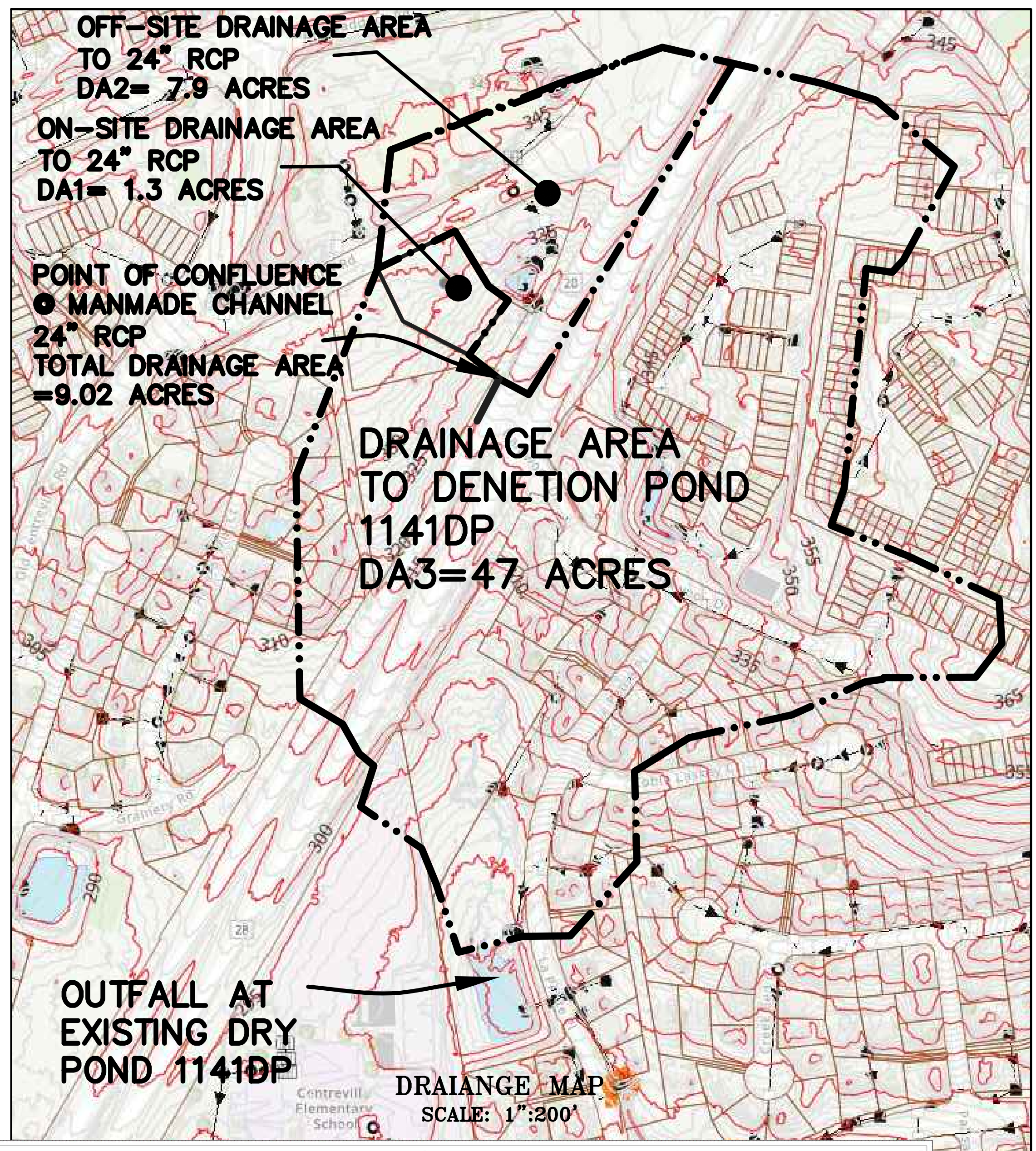
THE EXTENT OF ANALYSIS WAS THEREFORE TAKEN AS 150 DOWNSTREAM OF THIS CONFLUENCE. THIS POINT IS LOCATED WITHIN THE OUTFALL PIPE TO THE EXISTING DETENTION POND DP1141.

THE CHANNEL PROTECTION OUTFALL FOR THE DEVELOPMENT IS THEREFORE A MAN-MADE SYSTEM. AS A RESULT, DETENTION HAS BEEN PROVIDED FOR THE 2-YR STORM IN ORDER TO MEET THE CHANNEL PROTECTION REQUIREMENTS. THE ALLOWABLE 2-YR DISCHARGE FROM THE ON-SITE DETENTION FACILITY WILL BE LESS THAN THE ACTUAL 2-YR DISCHARGE BY PROVIDING THE ON-SITE SWM FACILITY. THIS DISCHARGE RATE ALONG WITH THE UNCONTROLLED SHEET FLOWS FROM THE SITE WILL NOT CAUSE ANY EROSION WITHIN THE POND OR DOWNSTREAM MAN-MADE CONVEYANCE SYSTEM.

FLOOD PROTECTION:

EXTENT OF ANALYSIS:
124-4-4.C4 WILL BE USED TO SHOW COMPLIANCE WITH THE FLOOD PROTECTION REQUIREMENTS. UNDER THIS SCENARIO THE ALTERNATIVE LIMIT OF ANALYSIS UNDER 124-4-4.C6.d WILL BE USED. 124-4-4.C6.d STATES "THE EXTENT OF ANALYSIS WILL BE TO A POINT 150 FT. DOWNSTREAM OF WHERE THE RECEIVING PIPE OR CHANNEL IS JOINED BY ANOTHER THAT IS AT LEAST 90% OF THE SIZE OF THE FIRST DRAINAGE AREA AT THE POINT OF CONFLUENCE".

DETENTION HAS BEEN PROVIDED BY THE ON-SITE DETENTION FACILITY TO CONTROL THE 10-YR DISCHARGE. THE ALLOWABLE 10-YR DISCHARGE FROM ON-SITE DETENTION FACILITY WILL BE LESS THAN THE ACTUAL DISCHARGE. AS A RESULT, NO LOCALIZED FLOODING WILL BE CAUSED BY THIS DEVELOPMENT. SIMILARLY, NO STRUCTURAL FLOODING IS EXPECTED. AS A RESULT, IT IS MY OPINION THAT THE OUTFALL FROM THIS SITE IS ADEQUATE.



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NO.	DESCRIPTION	REV. BY	DATE
1.	1ST REVISION	GEE	10/10/2023
2.	2ND REVISION	GEE	05/15/2024
3.	3RD REVISION	GEE	08/14/2024
4.	4th REVISION	GEE	10/18/2024

COUNTY PLAN NUMBER # SP-2022-SU-000144

PROFESSIONAL SEAL
IBRAHIM A. CHEHAR
Lic. No. 022868
10/18/2024
PROFESSIONAL

ADEQUATE OUTFALL NARRATIVE
CHURCH
PCL 8A-1 & OUTLET A,
MILDRED K DEBELL TRUSTEE PROPERTY
6321 OLD CENTREVILLE ROAD
FAIRFAX COUNTY, VIRGINIA
MAGISTERIAL DISTRICT: SULLY

TAX MAP: 65-1-((01))-0008C & 65-1-((01))-0008A1

DATE:	OCT. 2024
PREPARED BY:	BF
CHECKED BY:	ABE
PROJECT #	2020-4550

SCALE: AS NOTED
SHEET 6A OF 9

DEQ Virginia Runoff Reduction Method Re-Development Compliance Spreadsheet - Version 3.0

2011 BMP Standards and Specifications | 2013 Draft BMP Standards and Specifications

Project Name: 6321 OLD CENTREVILLE ROAD
Date: 10/18/2024
Linear Development Project? No

CLEAR ALL (Ctrl+Shift+R)

data input cells
constant values
calculation cells
final results

Site Information

Post-Development Project (Treatment Volume and Loads)

Enter Total Disturbed Area (acres) → 1.15

Check: BMP Design Specifications List: 2013 Draft Stds & Specs
Linear project? No
Land cover areas entered correctly? ✓
Total disturbed area entered? ✓

Maximum reduction required: 20%
The site's net increase in impervious cover (acres) is: 0.496854913
Post-Development TP Load Reduction for Site (lb/yr): 1.00

Pre-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) - undisturbed, protected forest/open space or reforested				0.15	0.15
Managed Turf (acres) - disturbed, graded for yards or other turf to be				1.00	1.00
Impervious Cover (acres)				0.16	0.16
Totals					1.31

Post-Development Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) - undisturbed, protected forest/open space or reforested				0.15	0.15
Managed Turf (acres) - disturbed, graded for yards or other turf to be				0.51	0.51
Impervious Cover (acres)				0.65	0.65
Totals					1.31

* Forest/Open Space areas must be protected in accordance with the Virginia Runoff Reduction Method

Runoff Coefficients (Rv)

	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

Constants

Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Total Phosphorus (TP) (mg/l)	0.26
Total Nitrogen (TN) (mg/l)	1.86
Target TP Load (lb/acre/yr)	0.41
Pj (unitless correction factor)	0.90

LAND COVER SUMMARY - PRE-REDEVELOPMENT

Land Cover Summary-Pre	Listed	Adjusted ¹
Forest/Open Space (acres)	0.15	0.15
Weighted Rv(forest)	0.05	0.05
% Forest	12%	19%
Managed Turf (acres)	1.00	0.51
Weighted Rv(turf)	0.25	0.25
% Managed Turf	76%	62%
Impervious Cover (acres)	0.16	0.16
Rv(impervious)	0.95	0.95
% Impervious	12%	19%
Total Site Area (acres)	1.31	0.82
Site Rv	0.31	0.35

LAND COVER SUMMARY - POST DEVELOPMENT

Land Cover Summary-Post (Final)	Post-Development New Impervious
Forest/Open Space (acres)	0.15
Weighted Rv(forest)	0.05
% Forest	19%
Managed Turf (acres)	0.51
Weighted Rv(turf)	0.25
% Managed Turf	62%
Impervious Cover (acres)	0.65
Rv(impervious)	0.95
% Impervious	50%
Final Site Area (acres)	1.31
Final Post-Dev Site Rv	0.57

Treatment Volume and Nutrient Load

Pre-Development Treatment Volume (acre-ft)	0.0340	0.0236
Pre-Development Treatment Volume (cubic feet)	1,479	1,028
Pre-Development TP Load (lb/yr)	0.93	0.65
Pre-Development TP Load per acre (lb/acre/yr)	0.71	0.79
Baseline TP Load (lb/yr) (0.41 lb/acre/yr applied to pre-development area excluding previous land proposed for new impervious cover)		0.34

Final Post-Development Treatment Volume (acre-ft)

Final Post-Development Treatment Volume (acre-ft)	0.0629
Final Post-Development Treatment Volume (cubic feet)	2,742
Final Post-Development TP Load (lb/yr)	1.72
Final Post-Development TP Load per acre (lb/acre/yr)	1.31

Post-Development Treatment Volume (acre-ft)

Post-Development Treatment Volume (acre-ft)	0.0393
Post-Development Treatment Volume (cubic feet)	1,713
Post-Development TP Load (lb/yr)	1.08
Post-Development TP Load per acre (lb/acre/yr)	0.79

Max. Reduction Required (Below Pre-Development Load)

Max. Reduction Required (Below Pre-Development Load)	20%
TP Load Reduction Required for Redeveloped Area (lb/yr)	0.13
TP Load Reduction Required for New Impervious Area (lb/yr)	0.87

Post-Development Requirement for Site Area

TP Load Reduction Required (lb/yr)	1.00
------------------------------------	------

Nitrogen Loads (Informational Purposes Only)

Pre-Development TN Load (lb/yr)	6.65
Final Post-Development TN Load (Post-Development & New Impervious) (lb/yr)	12.32

¹Adjusted Land Cover Summary: Pre-Development land cover minus previous land cover (forest/open space or managed turf) acreage proposed for new impervious cover.
Adjusted total acreage is consistent with Post-Development acreage (minus acreage of new impervious cover).
Column 1 shows load reduction requirement for new impervious cover (based on new development load limit, 0.41 lb/acre/year).

Drainage Area A

Drainage Area A Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres)					0.00	0.00
Managed Turf (acres)				0.07	0.07	0.25
Impervious Cover (acres)				0.63	0.63	0.95
Total				0.70		

CLEAR BMP AREAS

Total Phosphorus Available for Removal in D.A. A (lb/yr) 1.41

Post Development Treatment Volume in D.A. A (ft³) 2,241

Nitrogen Removal Efficiency (%)	Nitrogen Load from Upstream Practices (lbs)	Untreated Nitrogen Load to Practice (lbs)	Nitrogen Removed By Practice (lbs)	Remaining Nitrogen Load (lbs)
40	0.00	0.00	0.00	0.00
60	0.00	10.06	9.26	0.80

TOTAL RUNOFF REDUCTION IN D.A. A (ft³) 1,793
NITROGEN REMOVED WITH RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr) 9.26

SEE WATER QUALITY COMPLIANCE TAB FOR SITE CALCULATIONS (Information Only)

TOTAL IMPERVIOUS COVER TREATED (ac) 0.63 AREA CHECK: OK.
TOTAL MANAGED TURF AREA TREATED (ac) 0.07 AREA CHECK: OK.
TOTAL RUNOFF REDUCTION IN D.A. A (ft³) 1,793

TOTAL PHOSPHORUS AVAILABLE FOR REMOVAL IN D.A. A (lb/yr) 1.41
TOTAL PHOSPHORUS REMOVED WITH RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr) 1.27
TOTAL PHOSPHORUS REMAINING AFTER APPLYING RUNOFF REDUCTION PRACTICES IN D.A. A (lb/yr) 0.14

SEE WATER QUALITY COMPLIANCE TAB FOR SITE COMPLIANCE CALCULATIONS

Site Results (Water Quality Compliance)

Area Checks	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	AREA CHECK
FOREST/OPEN SPACE (ac)	0.00	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER (ac)	0.63	0.00	0.00	0.00	0.00	OK.
IMPERVIOUS COVER TREATED (ac)	0.63	0.00	0.00	0.00	0.00	OK.
MANAGED TURF AREA (ac)	0.07	0.00	0.00	0.00	0.00	OK.
MANAGED TURF AREA TREATED (ac)	0.07	0.00	0.00	0.00	0.00	OK.
AREA CHECK	OK.	OK.	OK.	OK.	OK.	

Site Treatment Volume (ft³) 2,742

Runoff Reduction Volume and TP By Drainage Area

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	TOTAL
RUNOFF REDUCTION VOLUME ACHIEVED (ft ³)	1,793	0	0	0	0	1,793
TP LOAD AVAILABLE FOR REMOVAL (lb/yr)	1.41	0.00	0.00	0.00	0.00	1.41
TP LOAD REDUCTION ACHIEVED (lb/yr)	1.27	0.00	0.00	0.00	0.00	1.27
TP LOAD REMAINING (lb/yr)	0.14	0.00	0.00	0.00	0.00	0.14
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr)	9.26	0.00	0.00	0.00	0.00	9.26

Total Phosphorus
FINAL POST-DEVELOPMENT TP LOAD (lb/yr) 1.72
TP LOAD REDUCTION REQUIRED (lb/yr) 1.00
TP LOAD REDUCTION ACHIEVED (lb/yr) 1.27
TP LOAD REMAINING (lb/yr) 0.46
REMAINING TP LOAD REDUCTION REQUIRED (lb/yr): 0.00 **
** TARGET TP REDUCTION EXCEEDED BY 0.26 LB/YEAR **

LINEAR PROJECT:

Total Nitrogen (For Informational Purposes)
POST-DEVELOPMENT LOAD (lb/yr) 12.32
NITROGEN LOAD REDUCTION ACHIEVED (lb/yr) 9.26
REMAINING POST-DEVELOPMENT NITROGEN LOAD (lb/yr) 3.07

Stormwater Best Management Practices (RR = Runoff Reduction)

Practice	Runoff Reduction Credit (%)	Managed Turf Credit Area (acres)	Impervious Cover Credit Area (acres)	Volume from Upstream Practice (ft ³)	Runoff Reduction (ft ³)	Remaining Runoff Volume (ft ³)	Total BMP Treatment Volume (ft ³)	Phosphorus Removal Efficiency (%)	Phosphorus Load from Upstream Practices (lb)	Untreated Phosphorus Load to Practice (lb)	Phosphorus Removed By Practice (lb)	Remaining Phosphorus Load (lb)	Downstream Practice to be Employed
6. Bioretention (RR)													
6.a. Bioretention #1 or Micro-Bioretention #1 or Urban Bioretention (Spec #9)	40			0	0	0	0	25	0.00	0.00	0.00	0.00	
6.b. Bioretention #2 or Micro-Bioretention #2 (Spec #9)	80	0.07	0.63	0	1,793	448	2,241	50	0.00	1.41	1.27	0.14	

NOTES:

- THE SWM/BMP CALCULATIONS SHOWN ON THIS SHEET ARE TO BE CONSIDERED THE MAXIMUM ESTIMATED POST DEVELOPMENT TREATMENT VOLUME AND LOAD FOR IMPERVIOUS AREA FOR THIS SITE.

REVISION BLOCK	REV. NO.	DESCRIPTION	REV. BY	DATE
	4.	4th REVISION	GEE	10/18/2024
	3.	3RD REVISION	GEE	08/14/2024
	2.	2ND REVISION	GEE	05/15/2024
	1.	1ST REVISION	GEE	10/10/2023
	NO.			

COUNTY PLAN NUMBER # SP-2022-SU-000144

PROFESSIONAL SEAL
COMMITTEE OF PRACTICE
IBRAHIM A. CHEEB
Lic. No. 022968
10/18/2024
PROFESSIONAL ENGINEER

VRRM SPREADSHEETS
CHURCH
PCL 8A-1 & OUTLET A,
MILDRED K DEBELL TRUSTEE PROPERTY
6321 OLD CENTREVILLE ROAD
MAGISTERIAL DISTRICT: SULLY FAIRFAX COUNTY, VIRGINIA

TAX MAP: 65-1-((01))-0008C & 65-1-((01))-0008A1

DATE: OCT. 2024

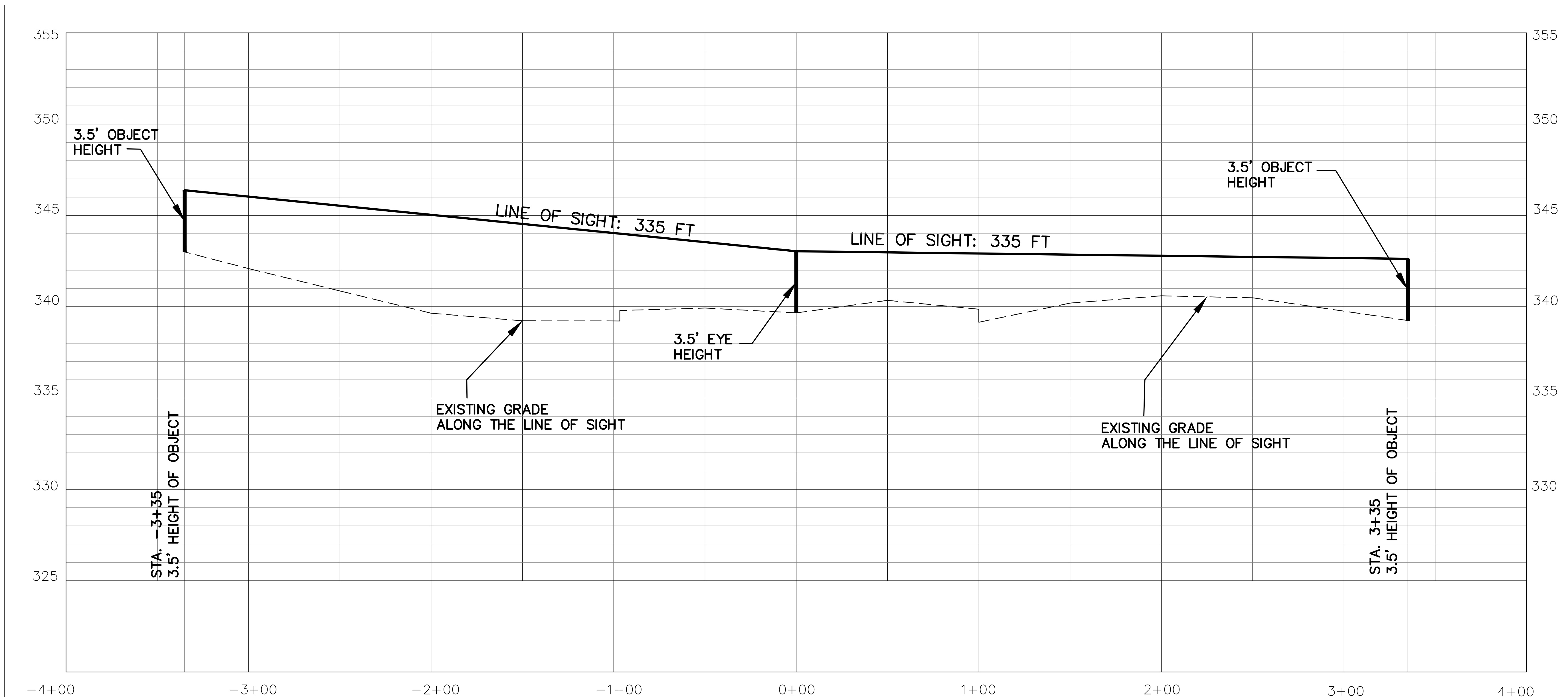
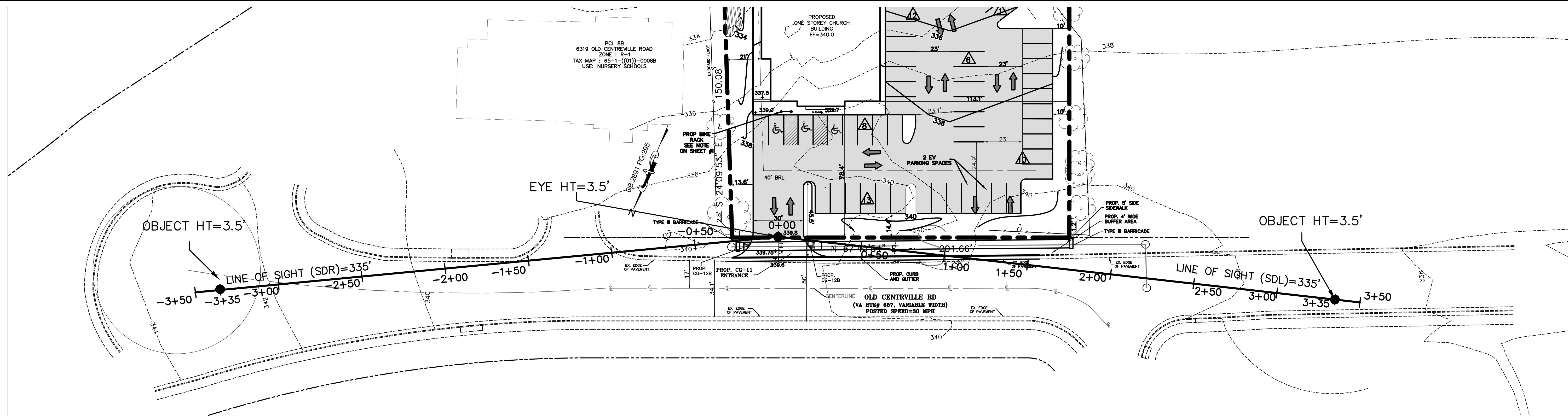
PREPARED BY: BF

CHECKED BY: ABE

PROJECT # 2020-4550

SCALE: AS NOTED

SHEET 7 OF 9



NOTE: SIGHT DISTANCE IS SHOWN FOR 2 LANE ROAD UNDIVIDED

PROPOSED ENTRANCE; SIGHT DISTANCE PROFILE
DESIGN SPEED 30 MPH

SCALE: VERT: 1"=5'
HOR: 1"=30'

NO.	DESCRIPTION	REV. BY	DATE
4.	4th REVISION	GEE	10/18/2024
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NO.	DESCRIPTION	REV. BY	DATE

COUNTY PLAN NUMBER # SP-2022-SU-000144

PROFESSIONAL SEAL
COMMONWEALTH OF VIRGINIA
IBRAHIM A. CHEHAB
Lic. No. 022968
10/18/2024
PROFESSIONAL ENGINEER

SIGHT DISTANCE PLAN AND PROFILE
CHURCH
PCL 8A-1 & OUTLET A,
MILDRED K DEBELL TRUSTEE PROPERTY
6321 OLD CENTREVILLE ROAD
MAGISTERIAL DISTRICT: SULLY FAIRFAX COUNTY, VIRGINIA

Revised: 1/10/2023

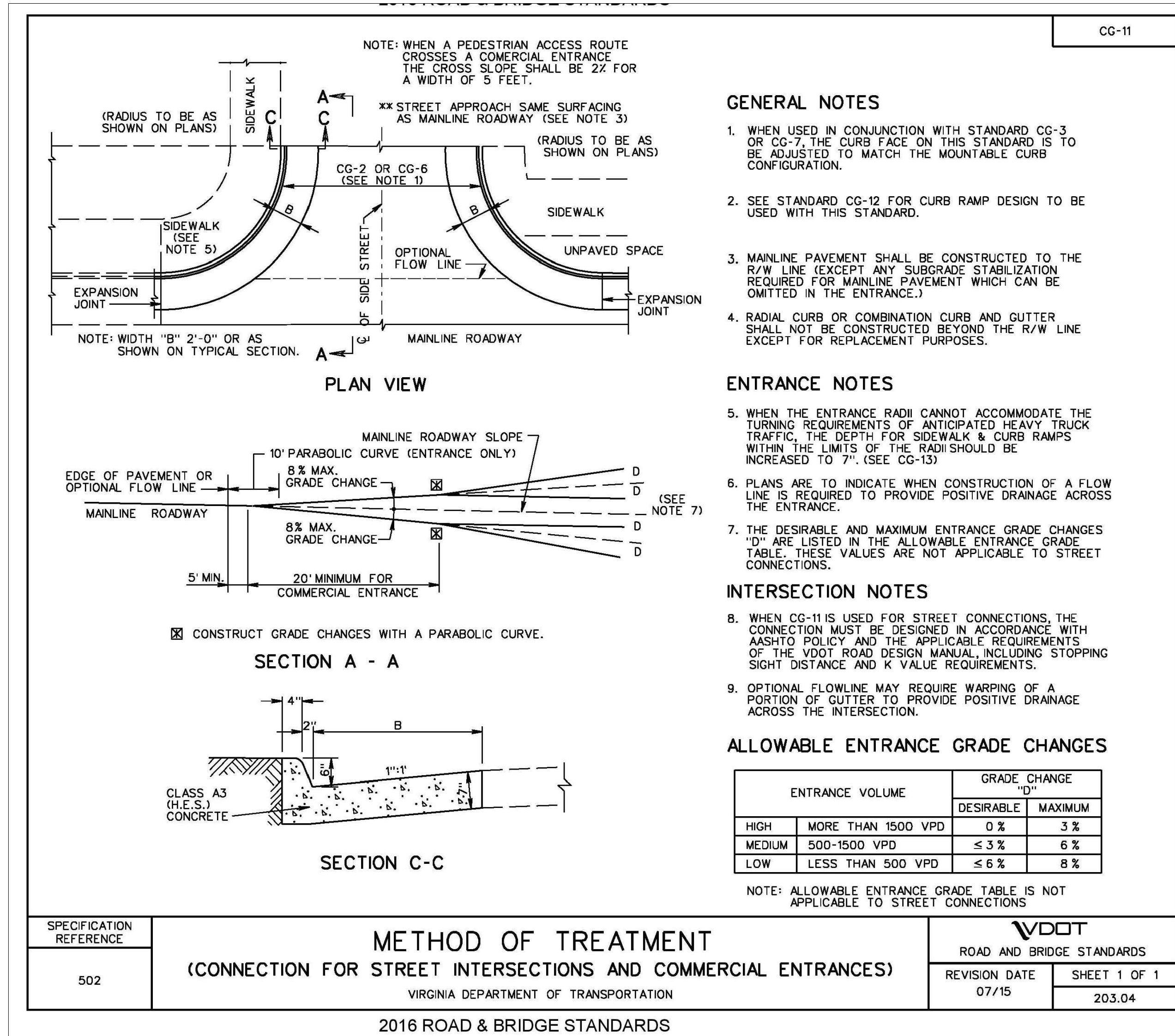
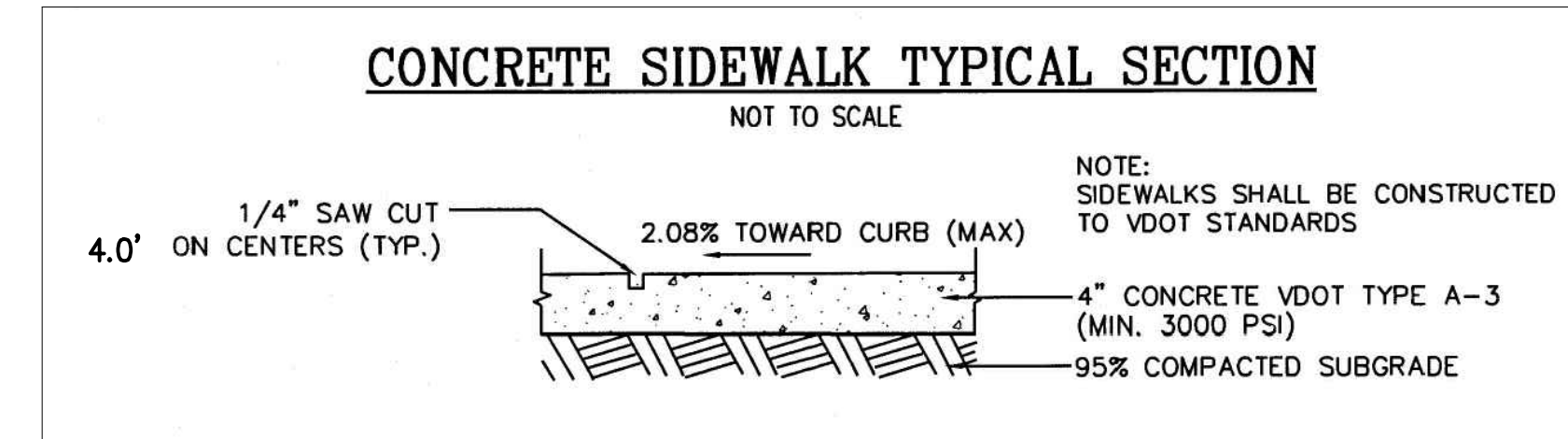
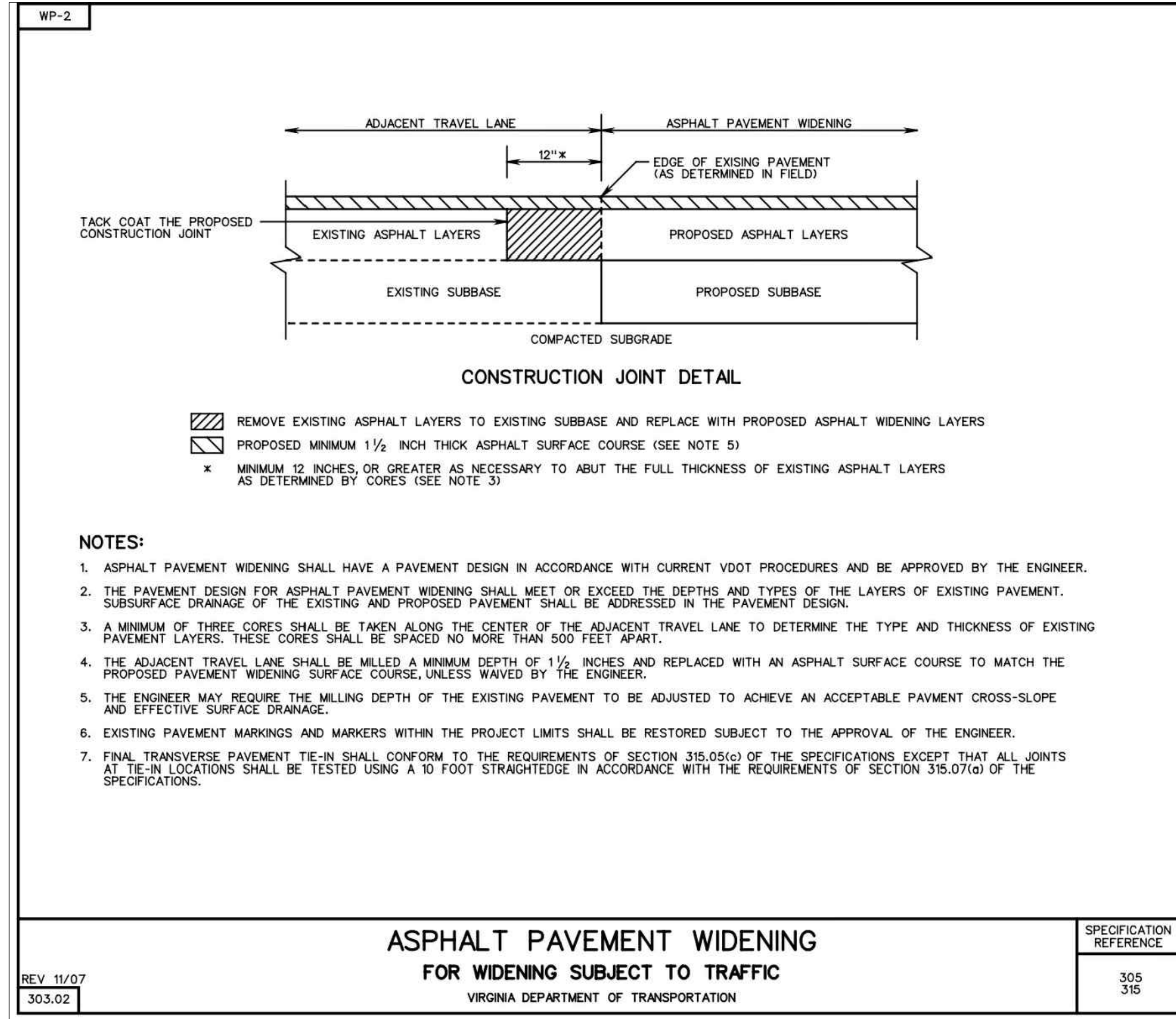
VDOT GENERAL NOTES

- These plans were prepared in accordance with the requirements of (select one):
 - VDOT Secondary Street Acceptance Requirements (SSAR 24VAC-30-92 effective February 1, 2012 and VDOT Road Design Manual Appendix B1).
 - VDOT Secondary Street Acceptance Requirements (SSAR 24VAC-30-92 effective February 1, 2012 and VDOT Road Design Manual Appendix B2 as approved for use in designated high density development areas).
 - VDOT Road Design Manual Appendix C, Rural and Urban Geometric Design Standards effective at the time of VDOT recommended plan approval; List Standard Used: GS-_____.
- VDOT Approved Exceptions/Waivers (must be incorporated in the plan):
 - Access Management - Date of Approval: _____
 - SSAR- Date of Approval: _____
 - Design Waiver - Date of Approval: _____
 - Other _____ Date of Approval: _____
- SSAR Connectivity Summary (provide a check mark where applicable or write N/A):

Connections in multiple directions (first connection must be to a VDOT maintained road, the second connection may either be to a VDOT road or to a stub out): N/A

Stub out connection (the prop. right of way terminates at parcel abutting the development and consists of a short segment that is intended to serve current and future development; the applicant must verify that connection with a future street is feasible): N/A

Network additions providing direct access to (i) more than 200 dwelling units or (ii) lots whose trip generation is expected to be over 2,000 VPD may be accepted into a VDOT maintained road, the second highways if the network addition provides an additional external connection beyond that re: N/A above.
- All work on this project shall conform to the current editions of and latest revisions to the Virginia Department of Transportation (VDOT) Road and Bridge Specifications and Standards, the Virginia Erosion and Sediment Control Regulations, and any other applicable state, federal or local regulations. In case of a discrepancy or conflict between the Standards or Specifications and Regulations, the most stringent shall govern.
- All right of way dedicated to public use shall be clear and unencumbered.
- All utilities, including all poles, are to be relocated at the developer's expense, prior to construction.
- The developer is responsible for any damage to existing roads and utilities which occur as a result of project construction within or contiguous to existing right of way.
- Open cutting of paved or surface treated roads is not permitted. All utilities which will be placed under existing streets are to be bored or jacked. Any exceptions, due to extenuating circumstances, are to be addressed at the permit stage.
- The pavement design is based on an assumed CBR value of 10 (use a CBR value of 6 in Loudoun Co.). Soil tests of subgrade must be submitted for the actual determination of the required thickness of the pavement including layers of asphalt and subbase prior to subbase placement.
- Pavement design shall be provided in accordance with the Pavement Design Guide for Subdivision and Secondary Roads in Virginia. For primary roads and interstate highways where truck traffic exceeds 5%, pavement design shall be provided in accordance with AASHTO guidelines. Typical pavement sections shall depict the top 6" of the subgrade immediately under the pavement structure compacted to 100% of the theoretical maximum dry density.
- All untreated aggregate used in base or subbase courses shall be 21B, except on roads with an ADT of 1000 vpd or less, where 21A aggregate may be used. When 21B aggregate is used, UD-4 underdrains must be provided.
- A 4" (min.) layer of stone is required beneath curb and gutter (may be shown on typical section in lieu of a note).
- The entire surface of the roadway (old and new portions) shall be overlaid and re-stripped as required by VDOT personnel. Overlay of existing pavement shall be a minimum of 1.25" depth; any costs associated with pavement overlay, or the milling of existing pavement to obtain required depth, shall be assumed by the developer.
- A smooth grade shall be maintained from the centerline of the existing road to the proposed edge of pavement to preclude the forming of false gutters and/or the ponding of any water in the roadway.
- Asphalt pavement widening shall conform to VDOT Standard WP-2.
- Any type of reverse curb (spill curb, CG-6R, etc.) and transition to these curbs shall not be used within the public right of way.
- The county/town shall obtain a permit for all sidewalks/crosswalks within the right of way that do not qualify for VDOT maintenance.
- Additional ditch linings or siltation and erosion control measures shall be provided, at the developer's expense, as determined necessary by VDOT and/or the county/town during field review. All costs shall be assumed by the developer.
- Standard guardrails and/or handrails shall be installed at hazardous locations as designated during field review by the county/town inspector or VDOT.
- A landscaping and irrigation systems plan shall be submitted for VDOT approval prior to installing any landscaping and irrigation systems within the public right of way.
- Flowers, shrubs, trees, and irrigation shall not be placed within State maintained right of way limits without an approved set of plans and an approved planting agreement. No irrigation (sprinkler) systems, brick columns, end walls, and/or brick mailboxes will be constructed or installed within State maintained right of way limits without a permit. Any of the above items found in the right of way without a permit will be removed, and all costs of the removal will be borne by the owner and/or developer.
- Traffic control devices or advisory signs, such as multiway stops, speed limits, Watch for Children, Pedestrian Traffic etc., shall not be installed unless specifically approved by VDOT Traffic Engineering Section. Should unapproved signs be noted at the time of VDOT inspection, the road acceptance process shall be terminated immediately and not recommenced until a determination is made regarding the approval of any additional signs. Immediate removal of such signs shall not negate the need for the submission of a revision.
- A speed study certified by a professional engineer shall be submitted for VDOT approval prior to the street acceptance for any road to be posted other than the statutory speed limit.
- The developer is responsible for all traffic control. The developer shall submit a signing, striping and/or signalization plan to the VDOT Land Development Section prior to permit application. The developer shall not commence construction of any pavement course without an approved striping plan.
- The developer is responsible for the design and construction of any traffic signal installation or modification which will be necessary as a result of the development of this site.
- During construction, the maintenance of traffic shall conform to the requirements in the most recent version of the Virginia Work Area Protection Manual and the MUTCD.
- The engineer of record, whose professional seal is affixed to this plan, is responsible to ensure all VDOT standards are met. VDOT review and signature of this plan shall not be interpreted as a guarantee the plan is without error. That is solely the responsibility of the engineer of record.
- Any fixtures or features being placed within the VDOT right of way that do not serve the general public will require a separate Land Use Permit (LUP-A) and Covenant of Perpetual Maintenance (CPM).



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 Engineers
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 Fax. 703.591.7074
 www.geoenv.com

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1.	1ST REVISION	GEE	10/10/2023
NO.			

REVISION BLOCK

COUNTY PLAN NUMBER # SP-2022-SU-000144

PROFESSIONAL SEAL
 IRRAHIM A. CHEERAB
 Lic. No. 022968
 10/18/2024

VDOT NOTES AND DETAILS

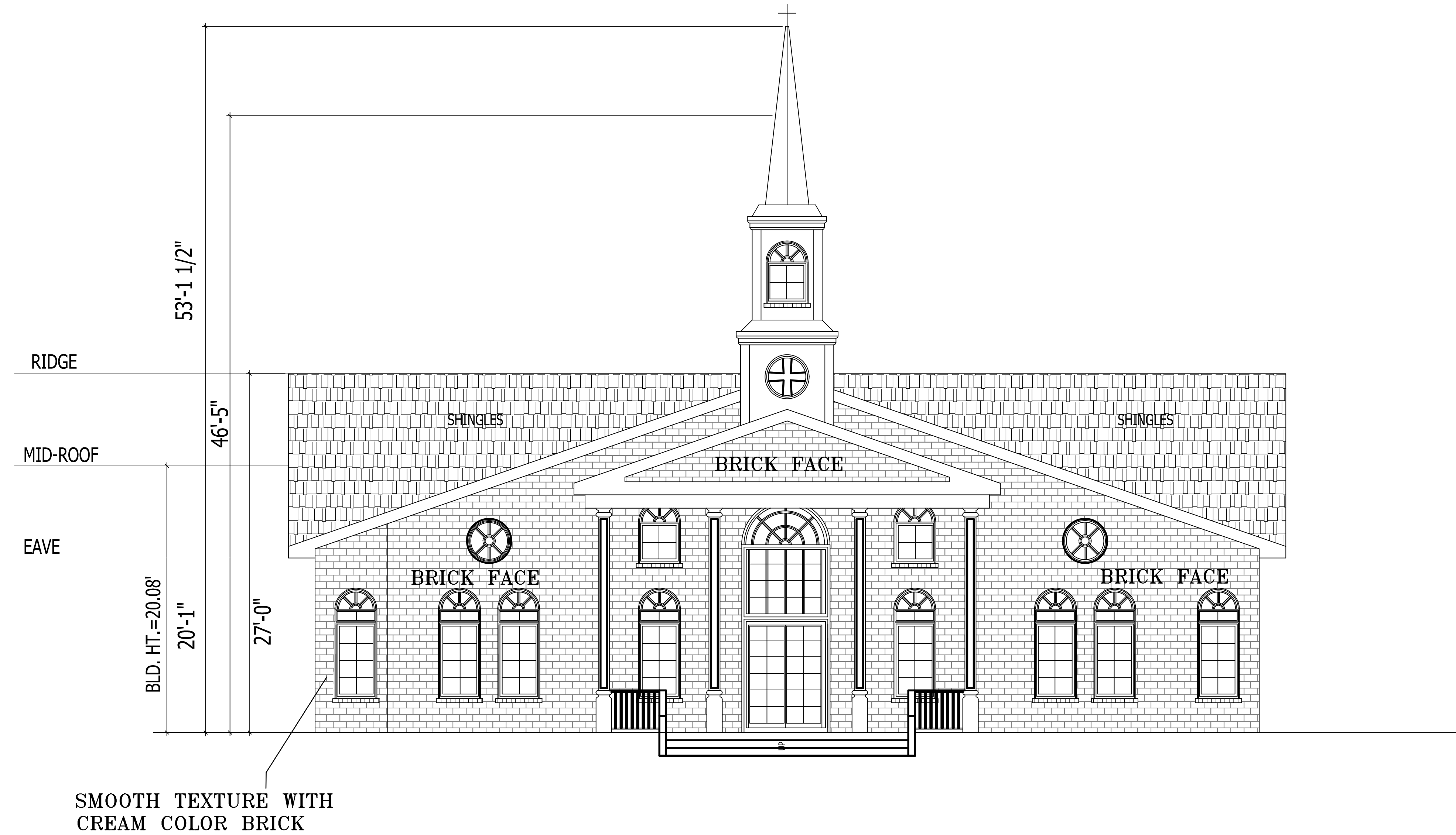
CHURCH
 PCL 8A-1 & OUTLET A,
 MILDRED K DEBELL TRUSTEE PROPERTY
 6321 OLD CENTREVILLE ROAD
 FAIRFAX COUNTY, VIRGINIA

MAGISTERIAL DISTRICT: SULLY

TAX MAP: 65-1-((01))-0008C & 65-1-((01))-0008A1
 DATE: OCT. 2024
 PREPARED BY: BF
 CHECKED BY: ABE
 PROJECT # 2020-4550
 SCALE: AS NOTED
 SHEET 8A OF 9

ARCHITECTURAL NOTES:

1. THE SIGN IS PRELIMINARY AND IS SUBJECT TO CHANGE.
2. THE ELEVATIONS ARE CONCEPTUAL AND INTENDED TO ILLUSTRATE GENERAL CHARACTER, QUALITY OF CONSTRUCTION, AND QUALITY OF MATERIALS. THE DETAILS SHOWN HEREON ARE NOT INTENDED TO REPRESENT FINAL DESIGN, OR TO BE INTERPRETED AS A COMMITMENT TO SPECIFIC DIMENSIONS, FEATURES, OR MATERIALS. FINAL DESIGN WILL BE DETERMINED AT TIME OF SITE PLAN.



FRONT ELEVATION

SCALE: 3/16" = 1'-0"

NO.	DESCRIPTION	REV. BY	DATE
4.	4th REVISION	GEE	10/18/2024
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COUNTY PLAN NUMBER # SP-2022-SU-000144

BUILDING ELEVATION
CHURCH
PCL 8A-1 & OUTLET A,
MILDRED K DEBELL TRUSTEE PROPERTY
6321 OLD CENTREVILLE ROAD
 MAGISTERIAL DISTRICT: SULLY FAIRFAX COUNTY, VIRGINIA

TAX MAP: 65-1-((01))-0008C
 & 65-1-((01))-0008A1

DATE: OCT. 2024
 PREPARED BY: BF
 CHECKED BY: ABE
 PROJECT # 2020-4550

SCALE: AS NOTED

SPECIAL PERMIT REQUEST

The applicant requests approval to construct a new religious assembly on a 1.3-acre parcel in Centreville.

A copy of the special permit plat titled, “Special Permit Plat Mision Evangelica LA Celestial Hechos Church” prepared by Ibrahim A. Chehab of GeoEnv Engineers, dated July 8, 2022, as revised through October 18, 2024, is included at the front of this report. A copy of the proposed development conditions, statement of justification and select photos, and affidavit, are contained in Appendices 1 through 3, respectively.

CHARACTER OF THE SITE AND SURROUNDING AREA

The 1.31-acre through-site includes two lots zoned R-1 located near the northern terminus of Old Centreville Road and adjacent to Route 28, just south of New Braddock Road, in Centreville. Lot 8C is a 1.11-acre irregularly shaped parcel developed with a 3,400 square foot, two-level single-family dwelling, originally built in 1852 and relocated to the site in 1968, and a semi-circular asphalt driveway which accesses Old Centreville Road. Lot 8A1 is a 0.2-acre rectangular-shaped outlot which is undeveloped and mostly encumbered by a conservation easement. Centreville United Methodist Church is located across Old Centreville Road to the north. The site abuts a child care center to the northeast and a lot with a picnic pavilion and several sheds owned by the Centreville United Methodist Church to the southwest. Townhouses are located across Route 28 to the east. The property is screened to the northeast by mature deciduous and evergreen trees and to the southwest by mature deciduous and evergreen trees and a 4-foot-tall white vinyl fence. There is no screening along the Old Centreville Road and Centreville Road – Route 28 frontages.



Figure 1: Location of the subject property
Source: Pictometry CONNECTExplorer

The surrounding properties are developed with a variety of uses detailed in the below table.

Direction	Use	Zoning	Plan
North	Religious Assembly; Centreville United Methodist Church	PDH-12, WS	Residential 5-8 du/ac
Northeast	Public and Institutional; Montessori Children's Center	R-1, WS	Residential 5-8 du/ac
Southeast (across Centreville Road)	Residential; Compton Village	R-8, WS	Residential 5-8 du/ac
Southwest	Centreville United Methodist Church picnic pavilion and activity field	R-1, WS	Residential 5-8 du/ac

Table 1

BACKGROUND AND HISTORY

- **Circa 1852:** The original portion of the single-family dwelling known as Sunnyside House was built on the Sunnyside Farm in Centreville.
- **1860:** The subject property on Old Centreville Road was platted.
- **1968:** Sunnyside House was relocated from Sunnyside Farm to the subject property by the previous owner due to the construction of I-66 which would have required the demolition of the house.
- **August 4, 1997:** The Board of Supervisors approved SE 96-Y-024 to establish a child care center on the northeastern 1.21-acre portion of the 2.94-acre property (Appendix 4). As part of the special exception approval, the 2.94-acre parcel was subdivided into three lots containing the child care center, the existing dwelling, and an outlot (Appendix 5).
- **1999:** The child care center was built on newly created Lot 8B.
- **October 31, 2019:** The subject property was purchased by Maria I. Vasquez.
- **November 18, 2022:** The applicant's special permit amendment application was accepted and scheduled for public hearing.
- **2022 – 2024:** The applicant began conducting religious services in the basement of the dwelling while the special permit application was progressing through the staff review process. Staff from the Zoning Evaluation Division and the Department of Code Compliance (DCC) advised the applicant that the dwelling did not meet the

building code standards for an assembly use and that a religious assembly is only permitted in the R-1 district by special permit. Subsequently, the applicant ceased religious activities on the site pending the outcome of the Board of Zoning Appeals public hearing.

- **September 15, 2024:** A DCC investigator visited the property on a Sunday morning and confirmed that no religious services were occurring on the property.

DESCRIPTION OF THE REQUEST

The applicant requests approval to construct a religious assembly on the subject property. A detailed overview of the operations of the proposed use are described in Table 2.

Religious Assembly	
Seats	200
Staff	Up to 3 part-time employees
Mass Schedule	Sunday: 9:00 am – 1:30 pm Weekdays: Occasional assembly uses and social gatherings
Services	Mass and other special religious services as necessary.

Table 2: Proposed operations of the religious assembly

PROPOSED LAYOUT

The special permit plat shows the sanctuary building in the northeastern portion of the site 21 feet from the northeast side lot line and surrounded by parking on two sides. The sanctuary building will be one level and 20.1 feet tall to the roof midline (53.1 feet to the top of the steeple). The number of seats in the sanctuary is proposed at 200. The submitted floor plan shows an entrance hall, kitchen and dining room, pastor’s office, storage, and two restrooms. The sanctuary will total 6,974 square feet in gross floor area, which is equivalent to a floor area ratio (F.A.R.) of 0.12.

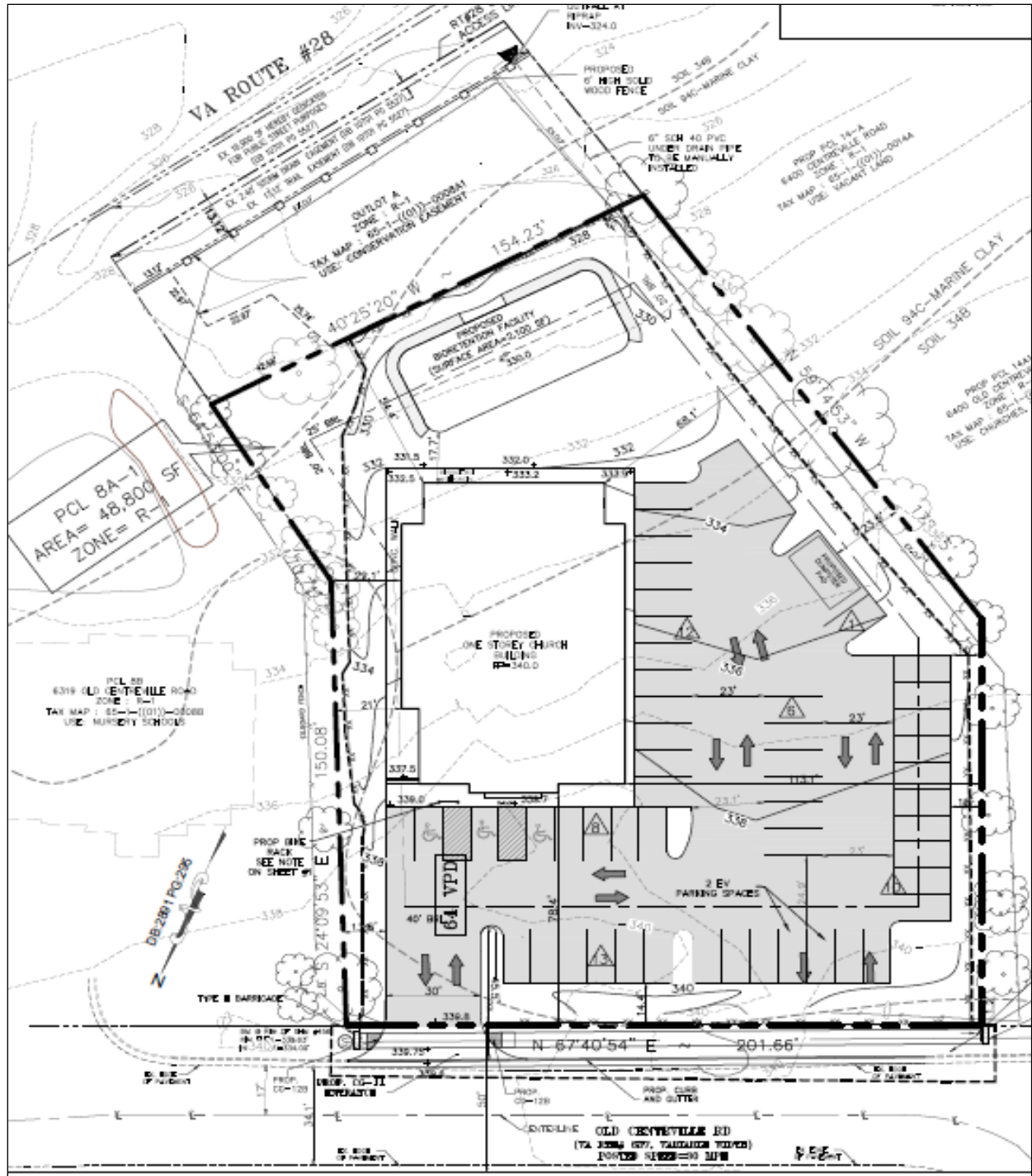


Figure 2: Excerpt of the special permit plat depicting the proposed religious assembly
Source: Applicant

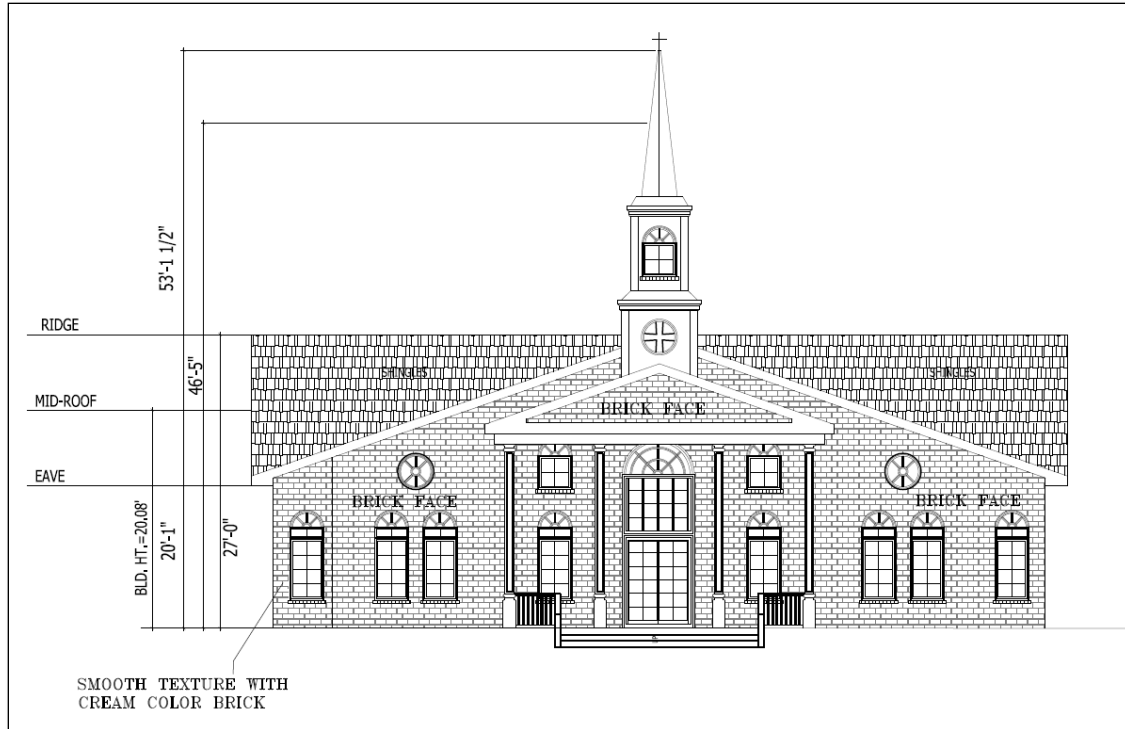


Figure 3: Rendering of the front of the proposed sanctuary
 Source: Applicant

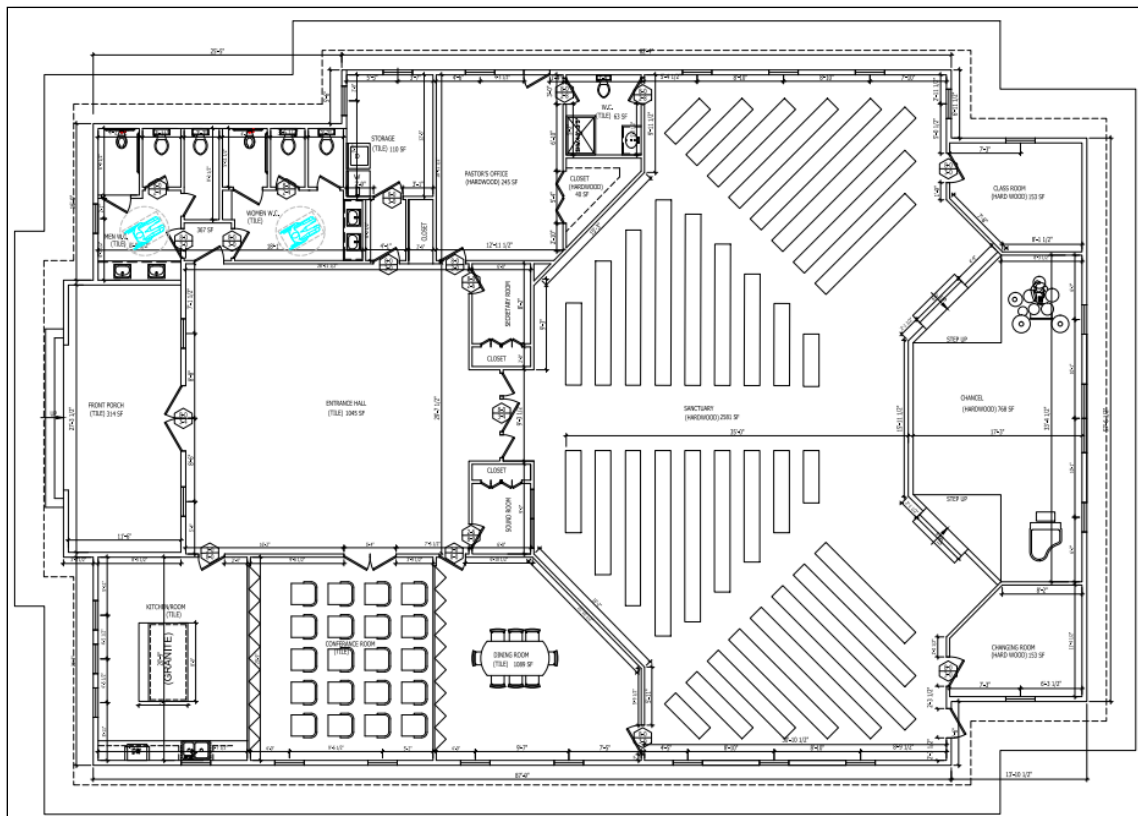


Figure 4: Floorplan of the proposed religious assembly
 Source: Applicant

Access, Circulation, and Parking

A single full-movement entrance will access Old Centreville Road. Two-way drive aisles allow circulation throughout the parking area. The religious assembly is required to have a minimum of 50 parking spaces based on a capacity of 200 seats and the applicant proposes a total 50 spaces. Of the 50 spaces, 3 will be accessible spaces located closest to the main entrance of the sanctuary to provide the most direct access from the parking area. The parking area will be at the front of the site along Old Centreville Road and to the southwest of the sanctuary.

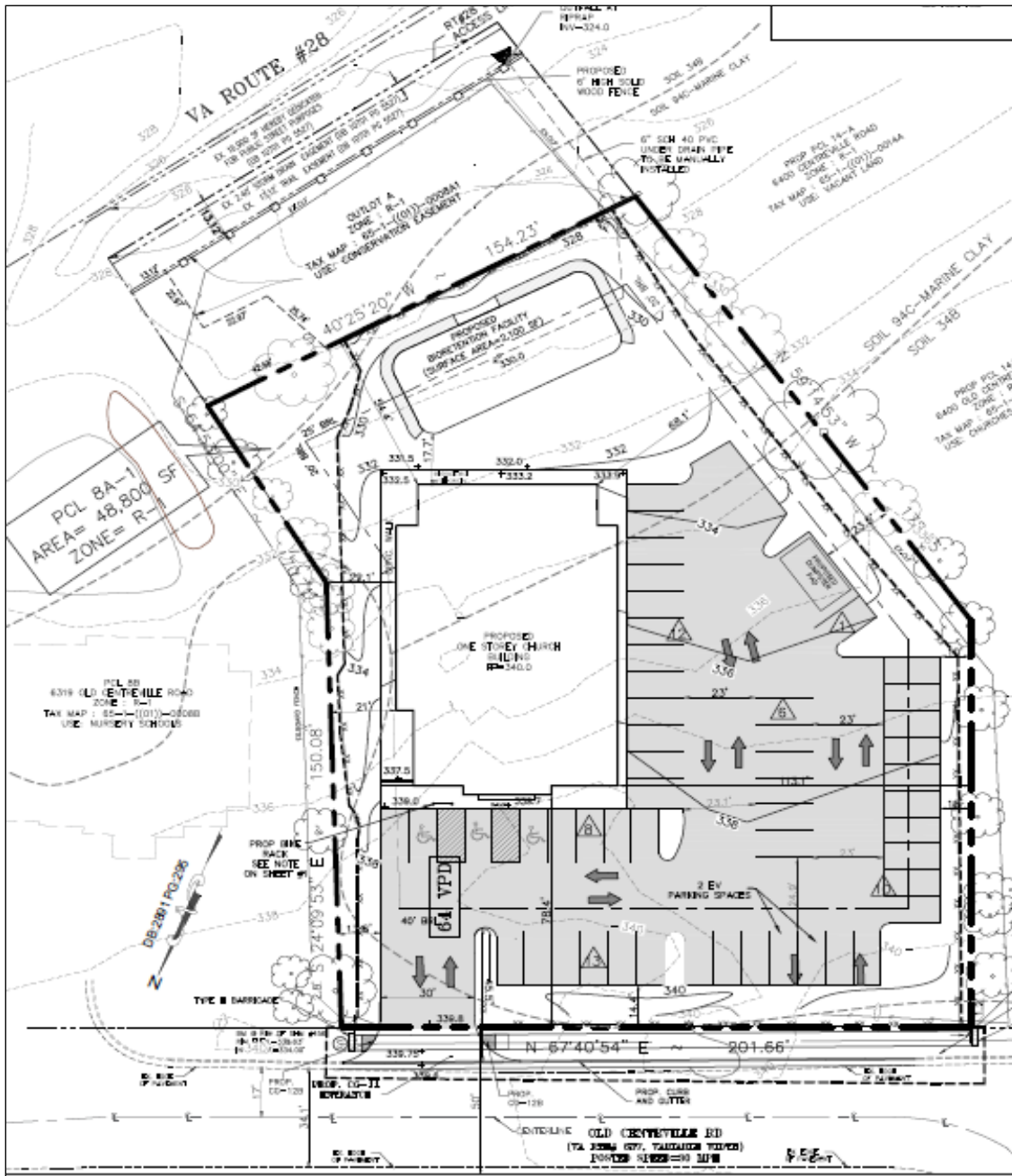


Figure 5: Excerpt of the special permit plat depicting the proposed parking area
 Source: Applicant

Landscaping and Vegetation

The property includes mature deciduous and evergreen trees along the northeast lot line and mature deciduous trees along the southwest lot line. There is minimal vegetation in the form of several small trees and shrubs along the Old Centreville Road street frontage at the front of the site and the Centreville Road street frontage at the rear of the site. The applicant proposes a row of category II evergreen trees along the Old Centreville Road frontage. Category II and III deciduous trees will supplement the existing vegetation along the northeast and southwest lot lines.

When the applicant purchased the property in 2019, they removed numerous trees in the conservation easement on the outlot. As part of the special permit request, the applicant proposes a reforestation plan for the conservation easement area. The plan includes planting 17 category IV deciduous trees, 34 category II evergreen trees, and 101 native shrubs in the easement as detailed in the landscape plan on Sheet 5 of the special permit plat. The reforestation plan supports multiple objectives including returning the conservation easement to its previous condition, improving stormwater management, and providing screening from the residential properties across Route 28 – Centreville Road. Transitional Screening Type II is only required along the southeast lot line which abuts single-family attached dwellings across Route 28. No transitional screening is required along the other lot lines because of the surrounding uses.

Stormwater Management

A Level 2 bio-retention facility is proposed to the rear of the building. The facility will provide water quality control (BMP) by collecting stormwater runoff from the building, paved parking area, and other impervious surfaces and filtering it through 40 inches of filter media. The facility will also provide water quantity control (detention) and is sized to accommodate 4,688 cubic feet of water.

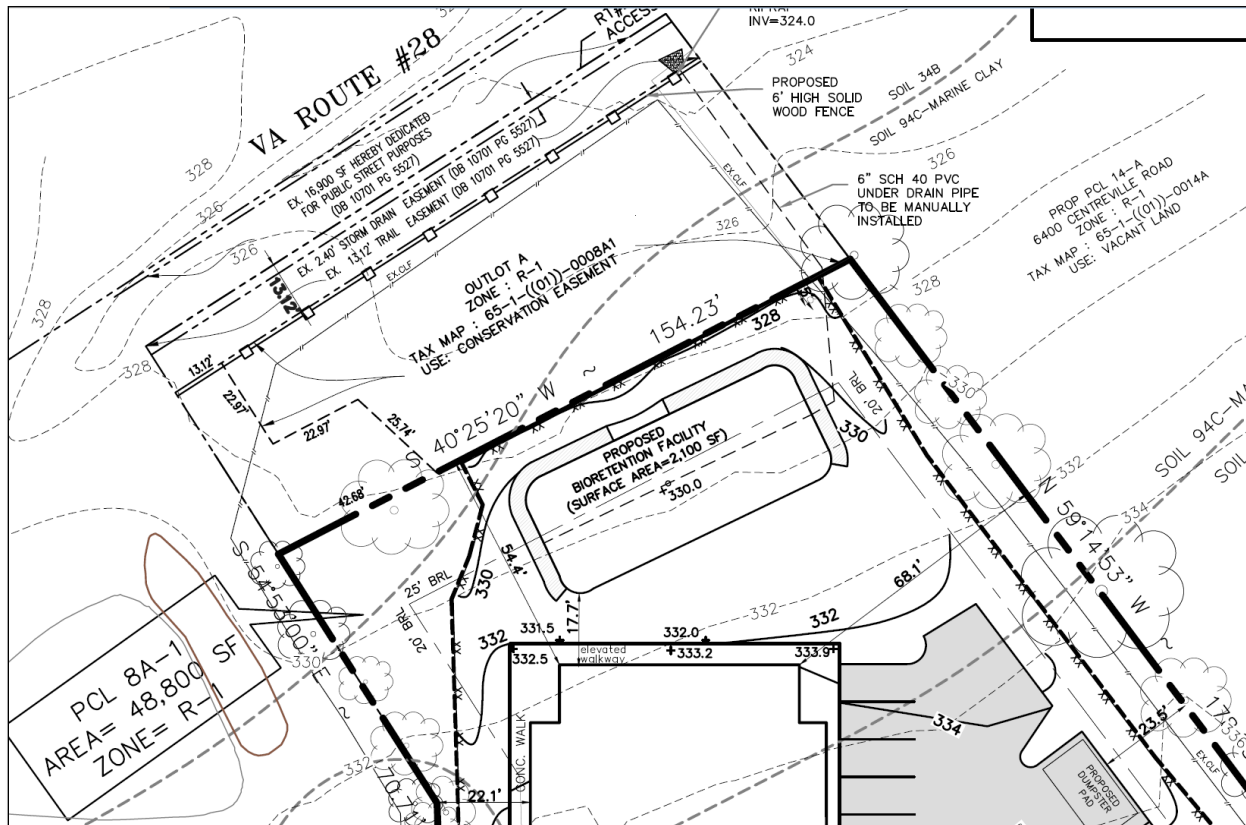


Figure 7: Location of proposed bio-retention facility
 Source: Applicant

Comprehensive Plan Provisions

Plan Area: Area III, Bull Run Planning District
Planning Sector: Centreville Planning Sector
Plan Map: Residential, 5-8 dwelling units per acre

ANALYSIS

Land Use/Environmental Analysis (EDRB-Planning Division) (Appendix 7)

Land Use

The subject site is located with the Centreville Suburban Area special planning area and the Comprehensive Plan map identifies the property as appropriate for residential use at 5-8 du/ac. There are no site-specific Plan recommendations for the property. Infill

development should be of a compatible use, type, and density and in accordance with the guidance provided by the Policy Plan under Land Use Objectives 12 and 14.

The proposed floor area ratio (F.A.R.) of 0.12 is below the maximum of 0.15 F.A.R. for uses other than residential or public in the R-1 district. The adjacent church and child care center uses have a slightly higher F.A.R. (0.23 for the church and 0.18 for the child care center). The neighboring church has approximately 50% open space and the child care center has approximately 41% open space. The open space proposed with this application is approximately 50%, which is generally consistent with the surrounding uses.

The applicant has reduced the overall number of seats in the sanctuary from 220 to 200 and reduced the number of parking spaces to 50 which meets the Zoning Ordinance requirement of 1 space per 4 seats in the sanctuary that was in effect when the application was accepted in 2022.

The original site layout had the sanctuary in the middle of the site with parking on all four sides. With the current submission, the site has been significantly redesigned, and the sanctuary has been shifted to the northeast. All parking is now to the side and front of the sanctuary, and the applicant has reduced the number of vehicular access points from two to one. This redesign allows for greater tree preservation, additional landscaping, more open space, and less impervious surface. The applicant is also providing a 5-foot-wide sidewalk across the site's frontage on Old Centreville Road.

Environmental

The environment element of the Policy Plan encourages "Design and construction of buildings and associated landscapes to use energy and water resources efficiently and to minimize short and long-term negative impacts on the environment and building occupants." The Comprehensive Plan recommends ensuring that new development and redevelopment within Suburban Centers (this site is within the Centreville Suburban Center) attain formal third-party green building certification through LEED or an equivalent program. Additionally, the Comprehensive Plan recommends ensuring that new non-residential development be certified through an established third-party green building rating system. The applicant has agreed to a development condition committing to green building certification.

Fairfax County encourages the "provision of or readiness for charging stations and related infrastructure for electric vehicles within new development and redevelopment proposals, particularly for residential where other opportunities are not available." Staff encouraged the applicant to consider adding universal, Level 2 EV charging stations for at least 2% of the number of parking spaces and provide designated EV parking spaces. The latest revision to the plat now shows two EV charging stations and a development condition is proposed committing to install a conduit to facilitate the future installation of a minimum of one (1) Level 2 electric vehicle charging station in the parking lot prior to the issuance of a Non-Residential Use Permit (Non-RUP).

With the adoption of these development conditions, EDRB has no outstanding issues.

Forest Conservation Branch Analysis (FCON) (Appendix 8)

As previously mentioned, as part of the request, the applicant proposes to restore the vegetation in the conservation easement as described in the landscaping plan. Staff has proposed a development condition requiring the restoration of the conservation easement within 180 days of BZA approval to ensure that the restoration is completed independently of when/if the religious assembly is ever developed.

Approximately 21.46% of the gross site area is covered by existing tree canopy. As a result, the percentage of the 10-year tree canopy requirement that should be met by tree preservation is also 21.46%. Due to the proposed limits of disturbance, only 4.6% of the 10-year tree canopy requirement will be met through on-site tree preservation. Should the Board approve the special permit application, the applicant must request a deviation from the tree preservation target from Land Development Services during site plan review.

In the R-1 district, the 10-year tree canopy requirement is 30% of the site area. A minimum of 17,171 square feet of the site must be covered by tree canopy ten years after development is completed. The applicant proposes a 10-year tree canopy of 22,146 square feet inclusive of the proposed tree preservation, supplemental plantings around the building, and reforestation of the conservation easement.

The applicant originally intended for the reforestation of the conservation easement to also satisfy the Transitional Screening Type II requirement along the southeast lot line. However, after analyzing the reforestation plan, FCON determined that the proposed plantings do not meet the definition of Transitional Screening Type II, which requires a specific width, mix, and quantity of trees and shrubs. As a result, the applicant has requested a modification of the transitional screening requirement along the southeast lot line as detailed in the Waivers and Modifications section of this report.

Stormwater Management (SDID) Analysis (Appendix 9)

Water quality and quantity controls will be provided by a Level 2 bio-retention facility that will collect stormwater runoff from 0.63 acres of proposed impervious surface on the site. The facility will have 2,100 square feet of surface area and a 4,688 cubic foot storage capacity. The facility is designed to capture and retain 2.56 inches of runoff ensuring compliance with standard detention requirements for the 2-year and 10-year storm event. A single 6-inch underdrain pipe will direct runoff from the bio-retention facility to an existing storm drainage easement featuring riprap at the outfall along the Route 28 – Centreville Road frontage. Channel and flood protection requirements are addressed by managing detention to ensure that post-development peak flows are reduced to below pre-development levels for the 2-year and 10-year storm event.

The site is within the Water Supply Protection Overlay District (WSPOD) where additional water quality control measures are required. Specifically, the proposed post-development phosphorous pollutant load must be reduced by at least 50%. The post-development total phosphorous load will be 1.72 lb/yr. The bio-retention facility will reduce this load by 1.27 lb/yr resulting in a remaining load of 0.46 lb/yr. Stormwater will be filtered through 40 inches of filter media in the bio-retention facility. Although the final

design and location of the bio-retention facility will be determined by LDS during site plan approval, all SDID comments at this phase have been addressed.

Transportation Analysis (Appendix 10, 11, and 12)

The Fairfax County Department of Transportation (FCDOT) and the Virginia Department of Transportation (VDOT) evaluated the request, and their comments are summarized below.

Considering the scale and use of the proposal, no additional improvements are proposed for the surrounding transportation network with the application. Further, FCDOT determined that a Traffic Impact Analysis (TIA) was not required due to the location and scope of the request. The proposal did not meet VDOT or County trip generation thresholds to warrant a Comprehensive Transportation Analysis or Traffic Impact Analysis, no transportation study was requested with the application.

VDOT requested several modifications to the site design throughout the review process. The original submission included two entrances to the site, one along the east side lot line and one along the west side lot line. Staff requested that the two entrances be consolidated into one entrance to address operational and safety concerns. The consolidated entrance accessing Old Centreville Road was originally designed to the CG-9D design standard. After further review by VDOT, the entrance was requested to be upgraded to the CG-11 design standard, which is reflected in the special permit plat. The location of the proposed 5-foot-wide sidewalk was relocated to be entirely within the right-of-way so VDOT can accept maintenance responsibility upon completion. With the above modifications to the site design, staff has no outstanding concerns.

The applicant proposes 200 seats in the sanctuary, which would require 50 parking spaces. The proposed surface parking lot includes 50 parking spaces, 3 of which will be accessible spaces. There is a VDOT-owned public commuter parking lot approximately 350 feet to the northeast at the terminus of Old Centreville Road, which includes 144 parking spaces. The site is designed to meet the parking requirements for the proposed use. However, the commuter parking lot is open to the public and visitors to the church could utilize this lot, if necessary for overflow parking during busy holidays or special events. In addition, on-street parking is permitted on Old Centreville Road. While staff generally includes a development condition prohibiting off-site parking, given the exclusively non-residential nature of the surrounding properties, such a restriction is not warranted in this case.

It should also be noted that Parking Reimagined, which was adopted by the Board of Supervisors on September 26, 2023, and became effective January 1, 2024, increased the parking requirements for religious assemblies from 1 space per 4 seats to 1 space per 3 seats. However, Appendix 1, Section 2.B(1) of the Ordinance permits land use applications accepted before January 1, 2024, to utilize the provisions of the Ordinance as amended through December 31, 2023. The applicant has elected for the application to be reviewed under the old parking standards which require 1 space per 4 seats in the sanctuary.

The new Ordinance requires any application using the former parking rates to be approved by the Board of Zoning Appeals, no later than one year after the adoption of Parking Reimagined, which is a deadline of December 31, 2024. This application is being heard by the Board at the last hearing of 2024. Therefore, staff recommends that that Board render a decision at the December 4, 2024, hearing to avoid the need to modify the proposal to comply with the new parking rates which would require the inclusion of 17 additional parking spaces and significantly impact the design and function of the site.

Heritage Resources Analysis (Appendix 13, 14, and 15)

Given that the house on the property was originally built in the mid-nineteenth century, staff from the Heritage Resources Branch of the Planning Division reviewed the application and provided a series of recommendations. The house is not located in a county-designated Historic Overlay District nor is it listed on the Fairfax County Inventory of Historic Sites as revised through October 2024 (Appendix 15), the Virginia Landmarks Register, or the National Register of Historic Places. However, Heritage Resources requested the completion of a Phase II Architectural Survey as defined by the Virginia Department of Historic Resources prior to demolition to document and better understand the history of the dwelling, specifically its pre-Civil War construction and significance in representing Fairfax County's shift from a primarily agricultural to suburban landscape.

The earliest portion of the dwelling, which is a two-level heavy timber frame building with an interior stone chimney, was built prior to 1852. The dwelling was previously located one mile to the north (near where the Centreville Regional Library now stands) on a farm known as Sunnyside Farm. To preserve the house from demolition due to the construction of I-66, the previous owners relocated it approximately one mile to the south to its present location in 1968.

The architectural survey was completed in June of 2023 and ultimately concluded that consideration of the house's historic significance is encouraged but does not preclude development. A more detailed history of the house is included in the Heritage Resources memo and the architectural survey which are included as Appendix 13 and 14. Comprehensive Plan guidance for heritage resources found potentially eligible for the National Register of Historic Places includes avoidance, documentation, and interpretation. In response to the Phase II Survey, Heritage Resources made the following recommendations.

Preservation In Situ

Ideally, the house would be preserved in its current location including but not limited to rehabilitating the house for residential use or adaptive reuse as a religious assembly. Given the age and condition of the dwelling, which is documented in the architectural survey, staff were advised that it would not be feasible to convert the house into an assembly use as it does not meet modern building code and fire code standards. Additionally, the location of the dwelling at the center of the site and the conservation easement would preclude the ability to preserve the house while building a religious assembly on a different part of the site.

Relocation

Staff also recommended preservation via relocation be explored. The Historic Centreville Society and the Fairfax County Park Authority were contacted to determine if a suitable parcel was available where the house could be relocated. The Park Authority Land Development Services advised staff that there is no current plan to accommodate the house’s relocation. Heritage Resources also contacted the Department of Planning and Development’s Environment and Development Review Branch to assess the possibility of relocating the house to the conservation easement on the outlot. However, the deed of dedication stipulates that the easement is to remain natural and wooded and therefore would not be suitable for relocation.

Documentation and Historical Marker

Finally, staff recommended, at a minimum, documentation of the site and placement of a historical marker. As previously mentioned, staff requested and received a Phase II Architectural Survey which provides sufficient detailed documentation and photos of the house and its history. Staff recommended that the applicant, prior to the approval of a site plan, contribute a sum not to exceed \$5,000 to the Fairfax County History Commission for the historical interpretation of the house through the fabrication and installation of a historical marker. The text on the marker will be determined in consultation with Heritage Resources staff and the History Commission. The marker should be installed on the property at a location determined and agreed upon by the History Commission and the applicant, and visible from the public right-of-way on Old Centreville Road. The applicant has agreed to fund the installation of the marker and staff has proposed a development condition to address this issue.

With the adoption of the proposed development condition, staff has no outstanding concerns.

Transitional Screening Requirements

The following tables provide an overview of the required and provided transitional screening and barriers as proposed with this application. These items are discussed further in the waivers and modifications section.

Transitional Screening		
	Required	Provided
North (religious assembly)	None.	None.
Northeast (day care center)	None.	A row of mature evergreen and deciduous trees.
Southeast (single-family attached)	Transitional Screening Type 2: 35 feet in width planted with a combination of evergreen and deciduous trees.	This area will be replanted according to the reforestation plan on sheet 5 of the special permit plat and will include a combination of evergreen and deciduous trees and shrubs.*

Southwest (religious assembly open space)	None.	A row of mature deciduous trees.
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** Applicant requests a modification of the transitional screening requirement in favor of the proposed reforestation plan.*

Barriers		
	Required	Provided
North (religious assembly)	None.	None.
Northeast (day care center)	None.	None.
Southeast (single-family attached)	Barrier D or E.	None.*
Southwest (religious assembly open space)	None.	None.

** Applicant requests a waiver of the barrier requirement.*

Zoning District Standards

Bulk Requirements (R-1)		
Standard	Required (Non-Residential)	Proposed
Lot Size	36,000 sq. ft.	1.31 acres
Lot Width	150 feet	202 feet
Max. Building Height	60 feet (to roof midline and excluding steeple)	20.1 feet (roof midline)
Front Setback	55 feet*	78.4 feet
Side Setback	20.1 feet**	21.0 feet (Northeast) 68.1 feet (Southwest)
Rear Setback	25 feet	54.4 feet
Maximum Floor Area Ratio (FAR)	0.15	0.12

** Based on table 2102.4a in the Zoning Ordinance*

*** Equal to building height*

Zoning Ordinance Requirements

This special permit application is subject to the following provisions of the Zoning Ordinance, copies of which are included in Appendix 16. Subject to development conditions, the special permit amendment must meet these standards.

Section 4102.1.F(2) General Standards for Special Permit Uses

(a) The proposed use at the specified location must be in harmony with the Comprehensive Plan.

The property is in the Centreville Suburban Center of the Centreville Planning Sector where the concept for future development is a mix of residential uses with extensive pedestrian connections provided between uses within the sub-unit. Development is generally limited to 5-8 dwelling units per acre. A religious assembly is permitted by special permit. In addition, the applicant has agreed to meet the green building certification recommendation for new non-residential development in the Centreville Suburban Center. This standard is met.

(b) The proposed use must be in harmony with the general purpose and intent of the zoning district where it is to be located.

The purpose and intent of the R-1 zoning district is to provide single-family detached dwellings and large lot single-family subdivisions. A religious assembly is permitted with approval of a special permit in the R-1 district. The current proposal is to demolish an existing single-family dwelling and construct a new religious assembly abutting other non-residential uses. The proposed sanctuary includes 200 seats. In staff's opinion, the proposed use at this location would meet this standard.

(c) The proposed use, including its design and operational characteristics, must not adversely affect the use or future development of neighboring properties and must be in accordance with the applicable zoning district regulations. The location, size and height of buildings, structures, walls, and fences, as well as the nature and extent of screening, buffering and landscaping cannot hinder or discourage the appropriate development and use, or impair the value of, adjacent or nearby land or buildings.

The proposed religious assembly will comply with the setback requirements for the R-1 district. A similar, but larger, religious assembly use is directly across the street from the property. The adjacent child care center to the northeast operates primarily on weekdays compared to the proposed use that will primarily operate on weekends. At 20 feet in height (to the roof midline), the proposed religious assembly will be similar in height to the surrounding non-residential uses on this segment of Old Centreville Road. Supplemental plantings including evergreen and deciduous trees, and shrubs are proposed along all lot lines to better screen the church from adjacent properties. Staff finds that the proposal would not adversely affect the use or development of neighboring properties or impair the value thereof. This standard is met.

(d) Pedestrian and vehicular traffic associated with the use must not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.

This segment of Old Centreville Road is approximately 1,000 feet long and only accesses another church, child care center, the subject property, and dead ends at a commuter parking lot. Given the surrounding uses, staff does not anticipate that the pedestrian and vehicular traffic associated with the use will be hazardous or conflict with the traffic in the neighborhood. Staff finds this standard is met.

(e) Adequate utility, drainage, and other necessary facilities to serve the proposed use must be provided.

To accommodate the religious assembly, 50 parking spaces are required and the applicant proposes to provide 50 spaces. Staff finds that the provided parking is adequate, especially in light of additional off-site parking options in the VDOT commuter lot and along Old Centreville Road. The applicant proposes to install a bio-retention facility to manage stormwater runoff for the proposed improvements. Staff finds that the stormwater management measures are adequate to manage stormwater quantity and quality for the 0.63 acres of proposed impervious surface. The final design and location of the bio-retention facility will be determined by LDS during site plan approval. In staff's opinion, the use will not generate any negative impact on utility, drainage, parking, and other necessary facilities. This standard is met.

(f) Signs are regulated by Article 7; however, the Board or BZA may impose stricter requirements for a given use than those set forth in this Ordinance.

An existing 5-foot-tall wood frame sign was installed by the applicant at the center of the Old Centreville Road frontage. The applicant proposes to remove this sign to accommodate the 5-foot-wide sidewalk and supplemental plantings along the street frontage. The applicant does not propose any signage with the application at this time. Should signage be installed in the future, it must be in accordance with the requirements in Article 7 of the Zoning Ordinance. Staff finds this standard is met.

WAIVERS AND MODIFICATIONS

Transitional Screening

The applicant has requested a modification of the transitional screening requirement along the southeast lot line along Route 28 – Centreville Road in favor of the proposed reforestation plan. The applicant proposes to plant 17 category IV deciduous trees, 34 category II evergreen trees, and 101 native shrubs on the outlot along Centreville Road as shown on the landscape plan on the special permit. Given the proposed supplemental plantings and that the sanctuary will be approximately 225 feet from the nearest residential dwellings, which are across Centreville Road to the southeast, staff supports the request for a modification.

Barriers

The applicant requests a waiver of the barrier requirement along the southeast lot line. Given the screening provided by the proposed supplemental plantings and the separation between the sanctuary and the nearest residential dwellings across 6 lanes of high-speed traffic, staff supports the request for a waiver of the barrier requirement.

CONCLUSION

The applicant seeks permission to construct a religious assembly on a 1.3-acre site which is currently developed with a single-family dwelling. Staff and the applicant coordinated on a variety of issues over a two-year period during which the design of the

site went through multiple iterations. Staff concludes that these changes have improved the quality of the proposal to better meet the applicable requirements of the Zoning Ordinance and Comprehensive Plan. During this timeframe, staff also investigated numerous options for preservation, relocation, or documentation of the existing dwelling as previously discussed in the report. While preservation of historic structures is always ideal, in the current context and absent legal protections, retaining the dwelling is not compatible with the applicant's plans for the property and staff is unable to require it. The Phase II Architectural Study coupled with the historic marker will ensure that the history of the structure is not lost.

RECOMMENDATION

Accordingly, staff finds that this application has met the requirements of the Zoning Ordinance standards and is consistent with the Comprehensive Plan. For these reasons, staff recommends approval of SP 2022-SU-00144, subject to the proposed development conditions contained in Appendix 1.

APPENDICES

1. Proposed Development Conditions
2. Statement of Justification
3. Affidavit
4. BOS Clerks Letter for SE 96-Y-024 dated August 20, 1997
5. Subdivision Plan dated September 4, 2001
6. Conservation Easement dated November 20, 1998
7. EDRB Memorandum dated October 11, 2024
8. FCON Memorandum dated September 6, 2024
9. SDID Memorandum dated September 6, 2024
10. VDOT Memorandum dated September 24, 2024
11. FCDOT Memorandum dated September 23, 2024
12. FCDOT TIA Determination dated September 15, 2022
13. Heritage Resources Memo dated October 18, 2024
14. Phase II Architectural Survey dated June 2023
15. Fairfax County Inventory of Historical Sites dated October 2024
16. Applicable Zoning Ordinance Provisions

PROPOSED DEVELOPMENT CONDITIONS**SP 2022-SU-00144****November 27, 2024**

If it is the intent of the Board of Zoning Appeals to approve SP 2022-SU-00144 located at Tax Map 65-1 ((1)) 8C and 8A1 to permit a religious assembly, pursuant to Sect. 4102.4.H of the Fairfax County Zoning Ordinance, staff recommends that the Board condition the approval by requiring conformance with the following development conditions.

1. This approval is granted to the applicant only, Misión Evangelica Jerusalem LA Celestial, Inc., is not transferable without further action of this Board, is for the location indicated on the application, 6321 Old Centreville Road, Centreville, 20121 and is not transferable to other land.
2. This Special Permit is granted only for a religious assembly as indicated on the special permit plat titled "Special Permit Plat Mision Evangelica LA Celestial Hechos Church" prepared by Ibrahim A. Chehab of GeoEnv Engineers, dated July 8, 2022, as revised through October 18, 2024, and approved with this application, as qualified by these development conditions.
3. A copy of this special permit and the Non-Residential Use Permit (Non-RUP) must be posted in a conspicuous place on the property.
4. This special permit is subject to the provisions of Sect. 8100.7, Site Plans, as may be determined by the Director, Land Development Services. Any plan submitted pursuant to this special permit must be in conformance with the approved special permit plat and these development conditions. Minor modifications to the approved special permit may be permitted pursuant to Sect. 8100.5 of the Zoning Ordinance.
5. The maximum seating capacity for the sanctuary is limited to a total of 200 seats.
6. The proposed architectural design of the religious assembly must be generally consistent with the elevation shown on Sheet 9 of the special permit plat and provided as attachment 1 to these conditions.
7. The applicant must coordinate with the Heritage Resources Branch of the Planning Division and the History Commission on the installation of a historical marker detailing the historical significance of the existing dwelling (Sunnyside House) on the subject property. Prior to approval of the site plan or issuance of a demolition permit for the existing dwelling, whichever occurs first, the applicant must contribute to the County a sum not to exceed \$5,000.00 for the purchase, fabrication, and installation of a historical marker, with the precise contribution to be determined by the History Commission and Heritage Resources Branch. The marker must be sited in a location agreeable to the applicant, Heritage Resources Branch, the History Commission, and VDOT (if located in the right-of-way).

8. Within 180 days of approval of this special permit, the applicant must restore the existing conservation easement on the subject property in conformance with the landscape plan on the special permit plat, the conservation easement deed of dedication, and PFM section 12-0316. The reforestation is subject to review and approval by the Forest Conservation Branch (FCON).
9. The Transitional Screening Type II requirement along the southeast front lot line along Route 28 – Centreville Road is modified in favor of the proposed vegetation as depicted on the landscape plan.
10. The applicant must replace any dead, dying, or stunted trees located in the areas being used for transitional screening. The location, size and type of replacement trees must be determined and approved by FCON.
11. The barrier requirement is waived along the southeast lot line fronting Route 28 – Centreville Road.
12. Interior parking lot landscaping must be provided in accordance with the provisions of Section 5108.5 of the Zoning Ordinance.
13. The applicant must seek green building certification for the development from one of the following programs and provide notification to the Environment and Development Review Branch of the Planning Division - DPD of the program selection at time of site plan submission:
 - a. EarthCraft Light Commercial: Prior to the issuance of the building permit, the applicant must provide documentation from the assigned EarthCraft Light Commercial (ECLC) Project Manager demonstrating that the project has had both the ECLC Design and Planning Review and the ECLC Pre-Construction Meeting and is meeting all requirements to obtain ECLC certification. Prior to the issuance of the non-RUP, the applicant must provide documentation from the assigned ECLC Project Manager demonstrating that the project has met all requirements pertaining to the ECLC Final Site Visit and has applied for the ECLC Certification.
 - b. The applicant may utilize an equivalent alternative program selected in consultation with and approved by the Environment and Development Review Branch of DPD prior to the issuance of building permits.
14. The applicant must install a conduit to facilitate the future installation of a minimum of one (1) Level 2 electric vehicle charging station in the parking lot which must be fully wired and functional at time of non-RUP issuance. The location of the conduit must be shown on the site plan.
15. The applicant must submit a Tree Inventory and Condition Analysis as part of the first and all subsequent plan submissions. The Tree Inventory and Condition Analysis must be prepared by a Certified Arborist or Registered Consulting Arborist and must include elements of PFM 12-0307 deemed appropriate to the project site as determined by FCON.

16. The applicant must submit a Tree Preservation Plan and Narrative as part of the first and all subsequent plan submissions. The Tree Preservation Plan and Narrative will be prepared by a Certified Arborist or Registered Consulting Arborist and must include elements of PFM 12-0309 deemed appropriate to the project site as determined by FCON.
17. Prior to the pre-construction meeting the applicant must have the approved limits of clearing and grading flagged with a continuous line of flagging. The applicant must retain the services of a Certified Arborist or Registered Consulting Arborist (Project Arborist) to attend the pre-construction meeting to review the limits of clearing and grading with an FCON representative to determine where adjustments to the clearing limits can be made to increase the area of the tree preservation and/or to increase the survivability of trees at the limits of clearing and grading. Such adjustments must be recorded by the Project Arborist and tree protection fencing must be implemented under the Project Arborist's supervision based on these adjustments.
18. Tree preservation measures must be clearly identified, labeled, and detailed on the Erosion and Sediment Control Plan sheets and Tree Preservation Plan. Tree preservation measures may include, but are not limited to the following: root pruning, crown pruning, mulching, watering, etc. Specifications must be provided on the plan detailing how preservation measures must be implemented. Tree preservation activities must be completed during implementation of Phase 1 of the Erosion and Sediment Control Plan.
19. The demolition of all existing structures and site features within or adjacent to tree preservation areas must be accomplished in the least disruptive manner practical as reviewed and approved by FCON. All tree protection fencing must be in place and verified by a County representative prior to commencement of demolition activities.
20. The applicant's Project Arborist must be present on-site during implementation of the Phase 1 Erosion and Sediment Control Plan and monitor any construction activities conducted within or adjacent to areas of trees to be preserved. Construction activities include, but may not be limited to clearing, root pruning, tree protection fence installation, vegetation/tree removal, and demolition activities. During implementation of Phase 2 Erosion and Sediment Control Plan, the Project Arborist must visit the site on a regular basis to continue monitoring tree preservation measures and ensure that all activities are conducted as identified in the Tree Preservation Plan and approved by FCON. Written reports must be submitted to FCON and SDID site inspector detailing site visits. A monitoring schedule and Project Arborist reports must be described and detailed in the Tree Preservation Plan.
21. Forested areas containing plant species that are known to be invasive in quantities that threaten the long-term health and survival of the existing vegetation present must be the subject of an invasive plant species management plan in order for the

- area to be awarded full 10-year canopy credit. At the time of site plan submission, the applicant must provide a management plan for review and approval by FCON specifying the common and scientific name of invasive species proposed for management, the target area for management efforts, methods of control and disposal of invasive plants, timing of treatments and monitoring, duration of the management program, and potential reforestation as needed.
22. Prior to installation of any plants to meet the requirements of the approved landscape planting plan, the contractor/developer must coordinate a pre-installation meeting on the site with the landscape contractor, FCON staff, and any additional appropriate parties. Any proposed changes to planting locations.
 23. Soil in planting areas that contain construction debris and rubble, are compacted or are unsuitable for the establishment and long-term survival of landscape plants, must be the subject of remedial action to restore planting areas to satisfy cultural requirements of trees, shrubs and groundcovers specified in the landscape planting plan. The applicant must provide notes and details specifying how the soil will be restored for the establishment and long-term survival of landscape plants for review and approval by FCON.
 24. Landscaping must be generally consistent with the quality, quantity and the locations shown on the development plans and will be non- invasive, predominantly native species and include a plant selection that includes species that will reduce the need for supplemental watering and the use of chemical fertilizers, herbicides and pesticide. All landscaping provided will be native to the mid-Atlantic region to the extent available and feasible and will be non- invasive (meaning the applicant will not use any plant species identified in the 2014, or latest version, of the Virginia Invasive Plant Species List published by the Virginia Department of Conservation and Recreation). The applicant reserves the right, in consultation with and approval by FCON to modify the exact species to be used, such as when plant materials are not available or have been deemed by FCON to no longer be appropriate.
 25. The applicant must implement stormwater management techniques to control the quantity and quality of stormwater runoff from the Property in accordance with the Fairfax County Public Facilities Manual, Stormwater Ordinance, and Virginia Department of Environmental Quality (DEQ), as approved by LDS. Stormwater management facilities/Best Management Practices ("BMPs") must be provided as depicted on the SP Plat. The Applicant reserves the right to pursue additional or alternative stormwater management measures provided the same are in substantial conformance with the SP Plat. However, these alternative measures must not include the purchase of off-site nutrient credit. At the time of site plan the applicant must demonstrate adequate outfall in accordance with applicable County ordinances. All BMPs must be provided on-site.
 26. All signage must satisfy the requirements contained in Article 7 of the Zoning Ordinance.

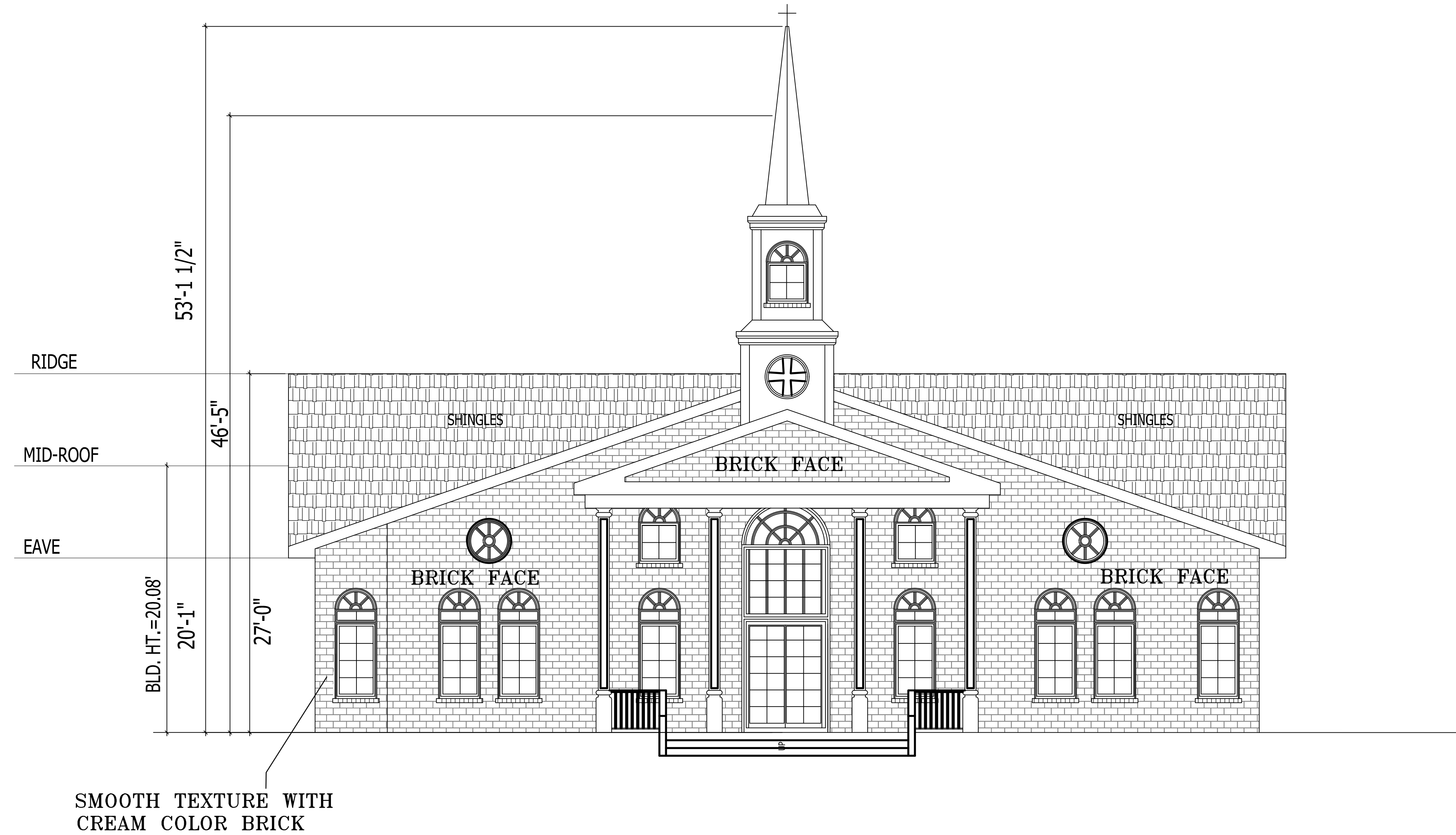
27. The applicant is responsible for identifying and complying with the terms of all legally binding easements, covenants, conditions, liens, judgments, encroachments or other encumbrances to title affecting the subject property, shown or not shown, on the approved special permit plat as may be determined by a court of competent jurisdiction. Approval of this application does not abrogate, vacate, interfere with, or invalidate such claims.
28. Pursuant to Sect. 8100.4.D(6) of the Zoning Ordinance, this special permit automatically expires, without notice, 30 months after the date of approval unless construction has commenced on the religious assembly and has been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

This approval, contingent upon the above-noted conditions, does not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

ARCHITECTURAL NOTES:

1. THE SIGN IS PRELIMINARY AND IS SUBJECT TO CHANGE.
2. THE ELEVATIONS ARE CONCEPTUAL AND INTENDED TO ILLUSTRATE GENERAL CHARACTER, QUALITY OF CONSTRUCTION, AND QUALITY OF MATERIALS. THE DETAILS SHOWN HEREON ARE NOT INTENDED TO REPRESENT FINAL DESIGN, OR TO BE INTERPRETED AS A COMMITMENT TO SPECIFIC DIMENSIONS, FEATURES, OR MATERIALS. FINAL DESIGN WILL BE DETERMINED AT TIME OF SITE PLAN.

ATTACHMENT 1



FRONT ELEVATION

SCALE: 3/16" = 1'-0"

GeoEnv Engineers
 Civil, Environmental & Geotechnical Engineering
 10875 Main Street, Suite 213
 Fairfax, VA 22030
 Tel. 703.591.7170
 Fax. 703.591.7074
 www.geoenv1.com

NO.	DESCRIPTION	REV. BY	DATE
4.	4th REVISION	GEE	10/18/2024
3.	3RD REVISION	GEE	08/14/2024
2.	2ND REVISION	GEE	05/15/2024
1.	1ST REVISION	GEE	10/10/2023

COUNTY PLAN NUMBER # SP-2022-SU-000144

BUILDING ELEVATION
CHURCH
PCL 8A-1 & OUTLET A,
MILDRED K DEBELL TRUSTEE PROPERTY
6321 OLD CENTREVILLE ROAD
 MAGISTERIAL DISTRICT: SULLY FAIRFAX COUNTY, VIRGINIA

TAX MAP: 65-1-((01))-0008C
 & 65-1-((01))-0008A1

DATE: OCT. 2024
 PREPARED BY: BF
 CHECKED BY: ABE
 PROJECT # 2020-4550

SCALE: AS NOTED

**SPECIAL PERMIT
STATEMENT OF JUSTIFICATION**

Construction of a New Place of Worship (Church)
 ACL 8A-1, Mildred K. Debell Trustee Property
 6321 Old Centreville Road
 Centreville, Sully District, Fairfax County, VA 20121
 Deed Book = 25961, Page 595; Area: 1.31 Acres; Zone: R-1

Property Location:	6321 Old Centreville Road, Centreville, Fairfax County, VA 20121
Owner Name:	Maria I. Vasquez
Mailing Address	5395 Sasher Lane, Fairfax, Virginia 22030
Utilities:	PUBLIC WATER: Connected PUBLIC SEWER: Connected NATURAL GAS: Not Available
Public Street:	Paved
Site Description	Buildable-Average Lot

This Special Permit (SP) application is prepared for the proposed construction of a new church building in this R-1 zone. According to available plans and records, the subject lot contains 1.1203 acres of land, zoned R-1, located on the southern side of Old Centreville Road (VA Route 657), in Sully District #2, Fairfax County, Virginia 20121. Currently the site is improved by an existing residential dwelling to be demolished and replaced by a new church building with associated improvements, as shown on the attached site plans. The property has an entrance through Old Centreville Road. The entrance for the new church will remain thru the same street, as shown.

The proposed project involves removal of the existing 2-story dwelling located within the central part of the property, and the construction of a new one-story church building with associated parking spaces, SWM facilities, and site utilities, as shown by the attached Special Permit Plat. In justification of the requested Special Permit, we noted the followings:

- The subject lot was purchased in good faith by the current owner (Maria I Vasquez) on October 31, 2019 from Mildred K. Debell Trust (seller). According to the Fairfax County records, the sell is valid and verified.
- At the time of the property purchase and currently, entry to the subject property is through existing Old Centreville Road (VA Route 657), which is an Undivided paved public right of-way (refer to attached photos).
- The property is currently assessed by the Fairfax County as a "Buildable-Average Lot" and recorded at Fairfax County Courthouse in Deed Book 25961 at Page 595.
- A Conceptual Site Grading and Development plan has been prepared by GeoEnv Engineers & Consultants, LLC (GEE), and dated June 2022. The site plans depicts the footprint of proposed Church building, the parking and driveways layout, access to the site (ingress/egress), existing and proposed grading, SWM facility and other relevant information.

- The site is currently served by a circular driveway through existing Old Centreville Road. Similar access is proposed for the proposed building.
- The subject property is bounded by properties that are approved for similar or comparable use as that requested for the property. These include a Nursery (Montessori) School from the east (6319 Old Centreville Road); an Activity Field with buildings belonging to Centreville Methodist Church (6400 Centreville Road) from the west; Old Centreville Road and Old Centreville Methodist Church from the north, and Centreville Road (VA Rout 28) from the south. In addition, a commuter parking lot is located to the east of the subject property.
- Old Centreville Road (VA Route 657) is a dead-end street that terminates into the Commuter parking lot, and no residential dwelling are currently present beyond the limit of the subject property.
- Public water and sewer are available within the ROW of Old Centreville Road, and the existing building is currently connected to the public utilities. The SP plans propose reconnecting to the same existing public utilities, with upgrades, as required.
- The Site Grading and Development Plans, prepared by GEE, are submitted along with this application.
- This Special Permit is prepared in compliance with Table 4101.1 of Fairfax County Zoning Ordinance.
- This request approval of the Special Permit for Religious Assembly is intended to address conditions specific to the subject lot, and shall not be considered a request to modify the standing zoning regulations.

The followings items address the Special Exception Statement of Justification:

A. Type of Operation:

The proposed structure will serve as a place of religious worship (church) to be utilized mainly for weekly Sunday services, special religious events (Christmas, New Year, Baptism, and other special events, and related social community gathering and services during the year. Events and Gatherings are not expected to exceed the capacity of the allowable parking spaces.

B. Hours of Operation:

This a typical place of assembly use - The hours of operation is typical for Sunday services (9:00 AM to 1:30 PM) and during special services during the week. Hours of operation for special events will be within the Church Hours of operation. Special events include occasional religious concerts and some occasional festivals. No more than 150 attendees are anticipated during such special events. Provided 50 parking spaces within the site will be adequate to handle parking during such special events.

C. Estimated Number of Employees/Patrons/etc.

Up to three (3) employees are expected to work part-time at the church. Additional Patrons are not anticipated.

D. Proposed Number of Users.

The church building is designed for up to 200 worshippers. Current members are approximately 120 worshippers, but the number is expected to grow to 200 worshippers in the next 10 years. Based on future worshippers, provided 50 parking spaces will be adequate and additional parking spaces will not be required. Based on the proposed use and number of parking spaces assigned to this establishment, we estimate that a maximum of 64 vehicles per day (on Sunday). Much lower number of trips are anticipated during the rest of the week. Entrance to the site is thru Old Centreville Road, which is a public right of way. No U-turn is needed for the to enter and exit the site. Based on the type of operation, the use of this road will be minimum during the week, as the proposed place of religious assembly will be utilized principally on Sundays and outside the typical weekly rush traffic hours. Therefore, the impacts of the proposed use during regular commutes and standard working hours is minimum. Since the new entrance to the proposed place of worship will be thru existing Old Centreville Road (a VDOT Road), therefore a VDOT permit maybe required as a part of the site plan process, and the owner will submit for a VDOT permit, if needed.

Therefore, since most of the use of the proposed place of worship will be during the weekend, then the operation hours will be outside the peak (rush) traffic flow for the area. In this, the proposed use of this facility will be minimally impacted, and it is not anticipated to change the overall traffic level for the existing Old Centreville Road.

E. Vicinity or General Area to be Served by the Use

The Church will serve members located within an area of approximately 10-mile radius of the site.

F. Description of Building Facade and Architectural of Existing.

The existing building comprised of two (2) stories dwelling. The building will be removed as a part of the proposed lot redevelopment. A new one-story wood-frame church building will be constructed, per the rendering provided with this SP application (The front elevation and facade of the new building are attached). In accordance with the Fairfax County zoning requirements, the building will be one story and the mid roof will not exceed 35 feet in height. All materials utilized in the exterior and interior construction are standard materials that are locally available.

The proposed church will be use strictly as a place of worship and assembly. No hazardous waste or Toxic Waste Substances will be used, stored or generated from the normal operation of this eating establishment. Therefore, no hazardous or Toxic Substances will be generated, used, or stored at the property. The heating and cooling systems will be either natural gas or electric, and no aboveground or underground fuel tanks will be installed at the site.

G. A statement of how the proposed use conforms to the provisions of all applicable ordinance, regulations, adopted standards, and any applicable conditions.

The architectural floor plans and space layout will be prepared in accordance with current Fairfax County zoning ordinance, IBC code, standing local, State and Federal regulations, and adopted standards as approved by the Special Exception. No other exception or variances will be required or requested. In general, the proposed design meet or exceed applicable ordinances, regulations, ADA requirements, and adopted standards with regard to zoning, ADA access, and protection of the environmental.

H. Estimated Traffic Impact of the Proposed Use, including the maximum expected trip generation and the distribution of such trips by mode and time of day.

The new building will be mainly utilized for worship on Sundays, and outside the rush traffic times. Typically, up to 64 VPD (maximum) per are anticipated on Sundays, and less than 20 trips per day are anticipated during the week. Parking will be in the proposed parking lot, and no street parking is anticipated.

I. Vicinity or General Area to be Served by the Use

The proposed facility will be utilized for typical religious assembly for church members located within the general vicinity. No other use is anticipated of this proposed place of worship.

J. Description of Building Facade and Architectural of Existing.

The architectural rendering is attached. The building will be a typical church building with brick and hardie siding. The existing 2-story structure was constructed about 1925 and it is in below average conditions, and some of the components do not meet current IBC code. Therefore, the existing building will be demolished, and the demolition debris will be disposed in a landfill in accordance with sanding regulations.

K. A listing, if known of all hazardous waste or Toxic substances as Set Forth in Title 40, Code of Federal Regulations Parts 116.4, 302.4 and 335.

None.

L. A statement of how the proposed use conforms to the provisions of all applicable ordinance, regulations, adopted standards, and any applicable conditions

The detailed architectural and site development plans will be prepared in accordance with the county and IRC standards. The project will conform to all standing (current) codes and regulations.

The following additional qualifications/justifications are provided for the requested relief under Section 18-404 of the Fairfax County Zoning Ordinance and Title 15.2 of the Code of Virginia. The following are our responses to the criteria that the B.A. considers necessarily to grant a variance:

1. The property was purchased in good faith and properly recorded in Deed Book 25961 , Page 595. The subject property is currently occupied by a single-family residential dwelling that the owner intends to remove and replace with a new church building to be used as a place or religious worship under an SP application.
2. As a part of this request, the property owner intends to construct a one-story church building, as per the attached plans. As demonstrated with similar places of religious worship, located in the immediate vicinity, we do not believe that this request will have lasting impacts on the zoning regulation or result in an amendment to the Zoning Ordinance.
3. The proposed church building is typical of the new construction in the vicinity. Both in term of size or style. Granting of this request will alleviate the current hardship and allow the client full use enjoyment of the property, as a place or religious worship.

4. The property is zoned R-1. The proposed development under the SP application will make the property consistent with the existing and newly constructed churches and other places of worship in the general area.
5. No encroachment into the neighbors' property will result from granting approval for this request. The average building height for the proposed building will be less than the 35 feet maximum average building height, as required by current Zoning Ordinance. The property is located within the central part of the lot, and the closest dwelling is located to the south of the subject property. The closest dwelling is located more than 50 feet the property lines, and no encroachment into the side yards BRL is proposed. Based on the proximity of the dwelling to adjacent dwellings, the proposed dwelling will not be of substantial detriment to adjacent properties.
6. Considering the above facts and criteria, we believe that granting approval for this Special Permit will be in harmony with the purposes of the zoning ordinance and will not be contrary to the public interest. No known negative impacts on the neighbors or public interest will result from granting of the requested variance.

Your anticipated early review and approval of this request are greatly appreciated. You may contact me at 703.593.8090 (cell) at any time to discuss this request. We look forward to hearing from you.

Abe Chehab, P.E.

GeoEnv Engineers & Consultants, LLC

10875 Main Street, Suite 213

Fairfax, VA 22030

(703) 591-7170 (office); (703) 593-8090 (Mobil)

e-mail: abechehab@ aol.com

SITE PHOTOS



F-1: Front of Subject Property
on Old Centreville Road

F-2: Centreville Road
along the Frontage of
the Site.





F-3: Existing Building to be Removed and Replaced with New Church Building.

F-4: Front Yard of Existing Building on Old Centreville Road.





F-5: Interior of Lot - Rear Yard

F-6: Rear Yard
of Existing Building to be
demolished.





F-7: Across the Street from North - Existing Centreville Methodist Church

F-8: Adjacent Property from the right (West) - Activity Field Belonging to Centreville Methodist Church.





F-9: Adjacent Property -
from East Site.

Existing Montessori
Children Center

F-10: Street View on Existing
Old Centreville Road. (A
non-divided Road leading to
a Commuter Lot).





County of Fairfax, Virginia

MEMORANDUM

Office of the County Attorney
 Suite 549, 12000 Government Center Parkway
 Fairfax, Virginia 22035-0064
 Phone: (703) 324-2421; Fax: (703) 324-2665
www.fairfaxcounty.gov

DATE: January 12, 2023

TO: Brandon McCadden, Staff Coordinator
 Applications Acceptance Section
 Zoning Evaluation Division
 Department of Planning & Development

FROM: Sepideh K. Jones, Paralegal
 Office of the County Attorney

SUBJECT: BZA Affidavit
 Application No. SP-2022-SU-00144

REF.: 171644

RECEIVED
 Dept of Planning & Development

JAN 17 2023

Zoning Evaluation Division

Attached is a copy of an application and an original affidavit that has been approved by the Office of the County Attorney for the following case:

Name of Applicant

Affidavit Date of Oath

Mision Evangelica Jerusalem LA Celestial, Inc.

12/29/22

Attachment

171644

Application No.(s): SP-2022-SU-00144
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 12/29/2022
(enter date affidavit is notarized)

I, Ibrahim A. Chehab, P.E, do hereby state that I am an
(enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below

and that, to the best of my knowledge and belief, the following is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,* and, if any of the foregoing is a **TRUSTEE,**** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
Ibrahim A. Chehab, P.E	10875 Main Street, Suite #213, Fairfax, VA 22030	Authorized Agent
GeoEnv Engineers & Conculants, LLC	10875 Main Street, Suite #213, Fairfax, VA 22030	Authorized Agent
Mision Evangelica Jerusalem LA Celestial, Inc.	6321 Old Centreville Road, Centreville, VA 20121	Applicant
Maria I Vasquez	5395 Sasher Lane, Fairfax, VA 22030	Title Owner

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Special Permit/Variance Attachment to Par. 1(a)" form.

* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.
** List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

171644

Application No.(s): SP-2022-SU-00144
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 12/29/2022
(enter date affidavit is notarized)

1(b). The following constitutes a listing*** of the **SHAREHOLDERS** of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

(NOTE: Include **SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS** herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Mision Evangelica Jerusalem LA Celestial, Inc., non-profit
6321 Old Centreville Road
Centreville, VA 20121

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF SHAREHOLDERS: (enter first name, middle initial, and last name)

Maria	I	Vasquez
		Vasquez
Ismael Armando		

(check if applicable) There is more corporation information and Par. 1(b) is continued on a "Special Permit/Variance Attachment 1(b)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): SP-2022-SU-00144
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 12/29/2022
(enter date affidavit is notarized)

1(b). The following constitutes a listing*** of the **SHAREHOLDERS** of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

(NOTE: Include **SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS** herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

GeoEnv Engineers & Conculatants, LLC
10875 Main Street, Suite #213
Fairfax, VA 22030

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below

NAMES OF SHAREHOLDERS: (enter first name, middle initial, and last name)

Ibrahim A. Chehab

(check if applicable) There is more corporation information and Par. 1(b) is continued on a "Special Permit/Variance Attachment 1(b)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. ***In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.*** Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

171644

Application No.(s): SP-2022-SU-00144
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 12/29/2022
(enter date affidavit is notarized)

1(c). The following constitutes a listing*** of all of the **PARTNERS**, both **GENERAL** and **LIMITED**, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state, and zip code)

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. **General Partner, Limited Partner, or General and Limited Partner**)

(check if applicable) [] There is more partnership information and Par. 1(c) is continued on a "Special Permit/Variance Attachment to Par. 1(c)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

171644

Application No.(s): SP-2022-SU-00144
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 12/29/2022
(enter date affidavit is notarized)

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land:

NONE

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land.

2. That no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on the line below.)

NONE

(check if applicable) There are more interests to be listed and Par. 2 is continued on a "Special Permit/Variance Attachment to Par. 2" form.

171644

Application No.(s): SP-2022-SU-00144
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 12/29/2022
(enter date affidavit is notarized)

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

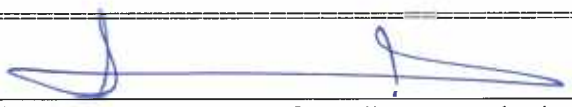
NONE

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [] There are more disclosures to be listed and Par. 3 is continued on a "Special Permit/Variance Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

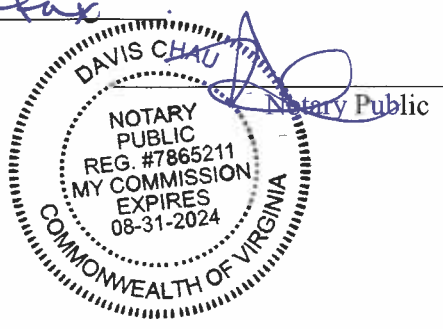


(check one) [] Applicant [x] Applicant's Authorized Agent

Ibrahim A. Chehab, P.E.
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 29th day of December 2022 in the State/Comm. of Virginia, County/City of Fairfax

My commission expires: 8/31/24



OWNER CONSENT / AGENT AUTHORIZATION STATEMENT

To Whom It May Concern:

I/We, Maria T. Vasquez, the undersigned applicant and/or title owner(s) of the property identified below, do hereby authorize Ibrahim A. Chehab, to act as agent(s) in the furtherance of an application for a special permit on my/our property located at: 6321 Old Centerville Rd, VA 20121
Tax Map No. 65-1-(011)-0wgc.

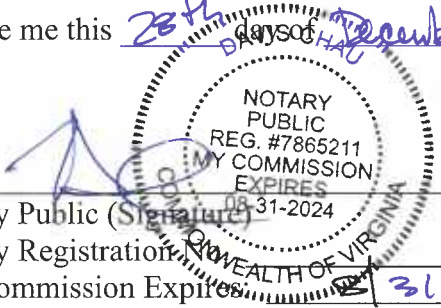
Thank you in advance for your cooperation.

APPLICANT/TITLE OWNER

Date: 12/19/2022 By: Maria T. Vasquez

COMMONWEALTH/STATE OF: Virginia
CITY/COUNTY OF: Parrish, TO WIT:

The foregoing instrument was acknowledged before me this 28th days of December, 2022
by Maria T. Vasquez
(Signor)


Notary Public (Signature)
Notary Registration
My Commission Expires 8/31/24

AFFIX NOTARY SEAL/STAMP

ALL TITLE OWNERS MUST SIGN IN PRESENCE OF NOTARY. IF THERE IS MORE THAN ONE OWNER, SIGNATURES MAY CONTINUE ON NEXT PAGE.



Permit Authorization Affidavit Permit Application Center

This affidavit certifies that the party listed, who is not a lessee, licensed architect, engineer, or contractor, has been granted authorization to obtain a permit(s) on behalf of a property owner. It must be filled out completely by the property owner if another party is submitting an application(s) on the owner's behalf. This form must be notarized and must be submitted prior to issuance. Copies of affidavits are unacceptable.

I, Maria I Vasquez am the owner of the property listed below and I certify that

I have granted, GeoEnv Engineers & Consultants, LLC as my duly authorized agent and give permission to

obtain the permits necessary for the construction (or installation) at the following address:
 6321 Old Centreville Road, Centreville, Fairfax County, Virginia 20121

for the construction or installation of: Processing of Special Permit Application for New Place of Worship

I understand that the permits obtained pursuant to this affidavit will be in my name and that I am acting as contractor for this project. I accept full responsibility for the work performed.

Signature of Property Owner: *[Signature]* Date: 07.08.2022

(For Notary Use Only):

State/District of Virginia City/County of Fairfax

I, Faten Tamer , a Notary Public in and for the aforesaid

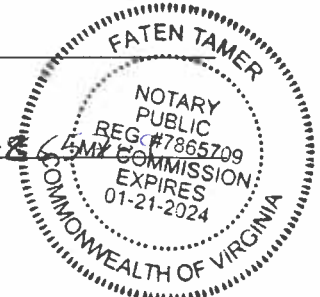
State/District hereby certify that the following person: Maria Irma Vasquez

appeared before me in the State/District and City/County aforesaid and executed this affidavit

on the following date: (month, day, year): 07.08.2022

Notary Signature: *[Signature]* Registration Number: 7866

My Commission Expires: 06.21.2024





FAIRFAX COUNTY

APPENDIX 4

OFFICE OF THE CLERK
BOARD OF SUPERVISORS
12000 Government Center Parkway, Suite 533
Fairfax, Virginia 22035-0072

V I R G I N I A

Telephone: 703-324-3151

FAX: 703-324-3926

TDD: 703-324-3903

August 20, 1997

John T. DeBell
6321 Old Centreville Road
Centreville, Virginia 22020

RE: Special Exception
Number SE 96-Y-024

Dear Mr. DeBell:

At a regular meeting of the Board of Supervisors held on August 4, 1997, the Board approved Special Exception Number SE 96-Y-024 in the name of Mildred K. DeBell, Trustee, located at Tax Map 65-1 ((1)) Pt. 8 for use as a child care center and nursery school pursuant to Section 3-104 of the Fairfax County Zoning Ordinance, by requiring conformance with the following development conditions:

1. This Special Exception is granted for and runs with the land indicated in this application and is not transferable to other land.
2. This Special Exception is granted only for the purpose(s), structure(s) and/or use(s) indicated on the Special Exception Plat approved with the application, as qualified by these development conditions.
3. This Special Exception is subject to the provisions of Article 17, Site Plans, as may be determined by the Department of Environmental Management (DEM). Any plan submitted pursuant to this Special Exception shall be in conformance with the approved Special Exception Plat entitled "Mildred K. DeBell Property, Child Care Center" and prepared by Bengston, DeBell & Elkin, Ltd. which is dated March 14, 1996 as revised through June 13, 1997 and these conditions.

4. The combined maximum daily enrollment of the child care center and nursery school shall not exceed 175 children.
5. The normal hours of operation of the center shall be limited to 6:30 am to 6:30 pm, Mondays through Fridays. This shall not prevent special programs from occurring occasionally during evening hours and on weekends.
6. The proposed building shall not exceed 6,600 square feet in size, the exterior colors shall be earth tones and the architectural style and materials shall be compatible with the surrounding residential area.
7. Parking lot lighting, if provided, shall be directed on-site and shielded to prevent off-site glare.
8. All signs shall be in accordance with Article 12 of the Zoning Ordinance.
9. The outdoor play area shall contain a minimum of 6,000 square feet, shall be fully enclosed with fencing as depicted on the Special Exception Plat and shielded from noise impacts from Route 28 as required by Development Condition Number 10 below. The play area shall be utilized by no more than 60 children at any one time.
10. As depicted on the Special Exception Plat, a barrier, six (6) feet in height and solid from the ground up with no gaps or openings, shall be provided around those portions of the play yard and parking lot which are not shielded from noise by the proposed building.
11. Dedication of public street right-of-way shall be provided as shown on the Special Exception Plat in fee simple, to the Board of Supervisors, at the time of site plan approval or upon demand by Fairfax County or Virginia Department of Transportation (VDOT), whichever occurs first.

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The applicant shall be himself responsible for obtaining the required Non-Residential Use Permit through established procedures, and this Special Exception shall not be valid until this has been accomplished.

SE 96-Y-024
August 20, 1997

3.

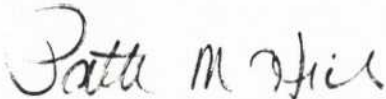
Pursuant to Section 9-015 of the Zoning Ordinance, this Special Exception shall automatically expire, without notice, thirty (30) months after the date of approval unless the use has been established or construction has commenced and been diligently prosecuted. The Board of Supervisors may grant additional time to establish the use or to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the Special Exception. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

The Board also:

- **Waived the barrier requirement; and**
- **Modified the screening requirement adjacent to Route 28, in favor of the modified screening and barrier depicted on the Special Exception Plat.**
- **Waived Paragraph 1 of Section 9-309 to allow a portion of the play area to be located in the front yard as shown on the Special Exception Plat; and**
- **Waived the service drive requirement.**

If you have questions regarding the expiration of this Special Exception or filing a request for additional time they should be directed to the Zoning Evaluation Division of the Office of Comprehensive Planning at 703-324-1290. The mailing address for the Zoning Evaluation Division is Suite 801, 12055 Government Center Parkway, Fairfax, Virginia 22035.

Sincerely,



Patti M. Hicks
Acting Clerk to the Board of Supervisors

PMH/ns

SE 96-Y-024
August 20, 1997

4.

cc: John M. Yeatman, Director, Real Estate Div., Dept. of Tax Administration
Melinda M. Artman, Deputy Zoning Administrator
Frank Jones, Assistant Chief, PPRB, OCP
Audrey Clark, Chief, Inspection Srvs., BPRB, DEM
Barbara A. Byron, Director, Zoning Evaluation Div., OCP
Robert Moore, Trnsprt'n. Planning Div., Office of Transportation
Paul Eno, Project Planning Section, Office of Transportation
Department of Environmental Management
Dorothy Purvis, Permits Department, VDOT
Land Acq. & Planning Div., Park Authority

BURGESS & NIPLE

OWNER'S CERTIFICATE:

WE THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN HEREON AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE, HEREBY ADOPT THIS PLAN OF SUBDIVISION, VACATE THE EASEMENTS AS INDICATED, DEDICATE THE STREET(S) FOR PUBLIC USE, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND AGREE THAT IRON PIPES WILL BE PLACED AT ALL PROPERTY CORNERS AS INDICATED. ALL IN ACCORDANCE WITH THE REQUIREMENTS OF THE FAIRFAX COUNTY SUBDIVISION ORDINANCE UNDER THE SUPERVISION OF AN ENGINEER OR SURVEYOR. WE HEREBY CERTIFY THAT ALL WETLANDS PERMITS REQUIRED BY LAW WILL BE OBTAINED PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES.

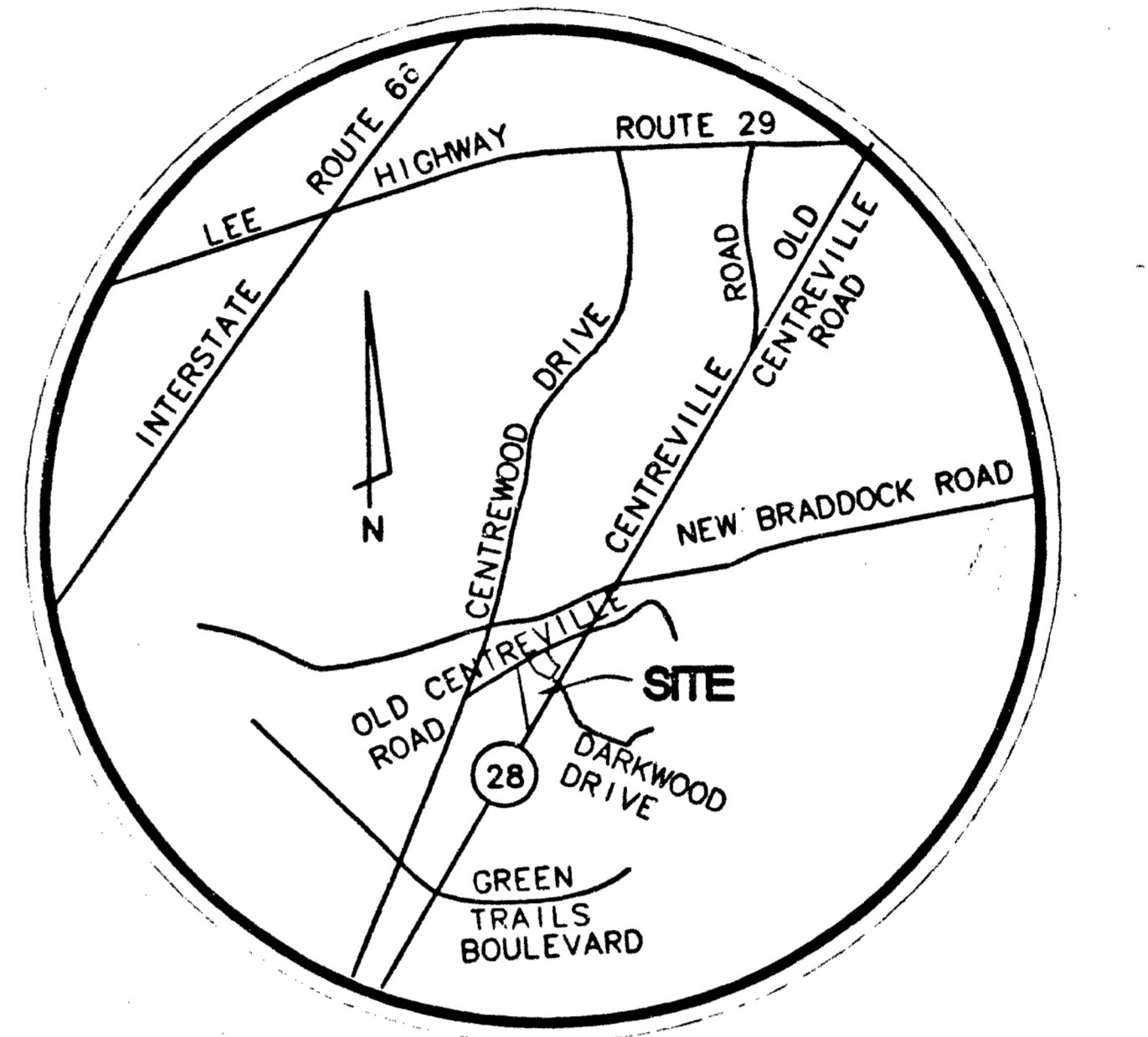
[Signature] 9/6/01
OWNER DATE

Mildred K. DeBell 9/10/01
OWNER DATE

NOTES:

1. THIS PLAT WAS PREPARED WITH BENEFIT OF TITLE EXAM PREPARED BY ESTATE TITLE & ESCROW INC., CASE #0501-533 DATED 4-14-01 @ 8:00 AM.
2. THE PROPERTIES DELINEATED ON THIS PLAT ARE LOCATED ON ASSESSMENT MAP NO. 65-1 ((1)) BA AND 14 AND ARE ZONED R-1.
3. OWNER/APPLICANT: PARCEL 8A
MILDRED K. DEBELL, TRUSTEE
BOX 367
6321 OLD CENTREVILLE ROAD
CENTREVILLE, VIRGINIA 22020
DEED BOOK 10701, PAGE 537

OWNER/APPLICANT: PARCEL 14
CALVERT HOMES, INC.,
12656 LAKE RIDGE DRIVE
WOODBIDGE, VIRGINIA 22192
DEED BOOK 12030, PAGE 254
4. BOUNDARY INFORMATION TAKEN FROM DEEDS OF RECORD AND DOES NOT REPRESENT A CURRENT BOUNDARY SURVEY BY THIS FIRM.
5. ALL PREVIOUSLY RECORDED RIGHTS-OF-WAY, EASEMENTS OR OTHER INTERESTS OF THE COUNTY REMAIN IN FULL FORCE AND EFFECT UNLESS OTHERWISE SPECIFICALLY SHOWN ON THIS PLAT.
6. THIS PLAT OF THE PROPERTY SHOWN HEREON IS REFERENCED TO MERIDIAN OF RECORD BECAUSE NO MORE THAN TWO (2) LOTS ARE CREATED.
7. THE PROPERTY SHOWN IS SUBJECT TO STORMWATER DETENTION AGREEMENT RECORDED AT DEED BOOK 10794, PAGE 772.
8. THE PROPERTY SHOWN HEREON IS SUBJECT TO EASEMENT GRANTED TO NORTHERN VIRGINIA CO-OP RECORDED AT DEED BOOK 6382, PAGE 1991 WHICH IS UNABLE TO BE LOCATED FROM RECORDED INFORMATION.



VICINITY MAP
SCALE: 1"=2000'

SURVEYOR'S CERTIFICATE:

I, BLAISE BURRY, A DULY LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA, DO HEREBY STATE THAT I HAVE CAREFULLY REVIEWED THE PROPERTY DELINEATED BY THIS PLAT AND THAT IT IS CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT THEY ARE PARCELS OF LAND ACQUIRED BY MILDRED K. DEBELL RECORDED IN DEED BOOK 9246, PAGE 1636 AND SUBSEQUENTLY DIVIDED IN DEED BOOK 10701, PAGE 537 (PARCEL 8A) AND CALVERT HOMES, INC., RECORDED IN DEED BOOK 12030, PAGE 254 (PARCEL 14) IN THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.

I FURTHER STATE THAT THE LAND EMBRACED BY THIS DIVISION LIES ENTIRELY WITHIN THE BOUNDS OF THE ORIGINAL TRACT, AND THAT ALL COURSES ARE REFERENCED TO RECORD MERIDIAN IN ACCORDANCE WITH THE REQUIREMENT OF THE FAIRFAX COUNTY SUBDIVISION ORDINANCE.

GIVEN UNDER MY HAND THIS 4th DAY OF ~~SEP~~ ^{JUNE}, 2001
[Signature]
BLAISE BURRY, L. S. REG. #1560

AREA TABULATION:

ORIGINAL PARCEL 8A	55,884 SF OR 1.28292 AC.
PORTION OF PARCEL 8A BEING TRANSFERRED TO PARCEL 14	7,081 SF OR 0.16256 AC.
TOTAL NEW PARCEL 8A-1	48,803 SF OR 1.12036 AC.
ORIGINAL PARCEL 14	131,692 SF OR 3.02323 AC.
PORTION OF PARCEL 8A BEING TRANSFERRED TO PARCEL 14	7,081 SF OR 0.16256 AC.
DEDICATION FOR PUBLIC STREET PURPOSES	3,298 SF OR 0.07571 AC.
TOTAL NEW PARCEL 14-A	135,475 SF OR 3.11008 AC.

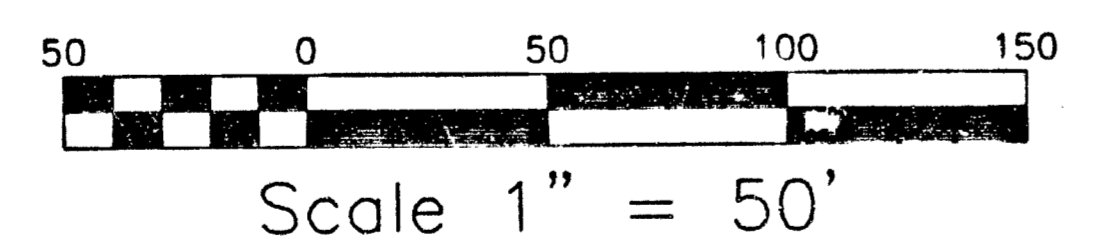
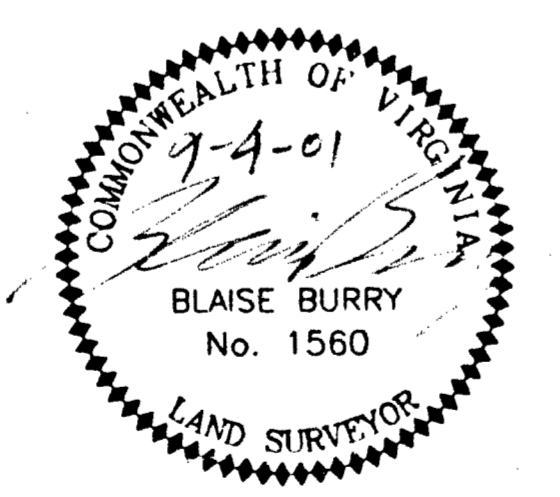
10-18-01
10-25-01
[Signatures]

PLAT SHOWING VACATION OF A PORTION OF EXISTING GAS PIPELINE EASEMENT, STREET DEDICATION AND DIVISION OF PARCEL 14 BEING THE CALVERT HOMES, INC. PROPERTY DEED BOOK 12030, PAGE 254 AND DIVISION OF PARCEL 8A BEING THE MILDRED K. DEBELL, TR PROPERTY DEED BOOK 10701, PAGE 537 SULLY DISTRICT FAIRFAX COUNTY, VIRGINIA SCALE: 1" = 50' MAY 14, 2001

BURGESS & NIPLE
4160 PLEASANT VALLEY ROAD, CHANTILLY, VA 20151-1226 (703) 631-9630
DULLES, WOODBRIDGE, VIRGINIA BEACH & RICHMOND, VIRGINIA
ROCKVILLE, MARYLAND

JOB: 95C058 WO: 27052 SHEET 1 OF 2 **A-4260**

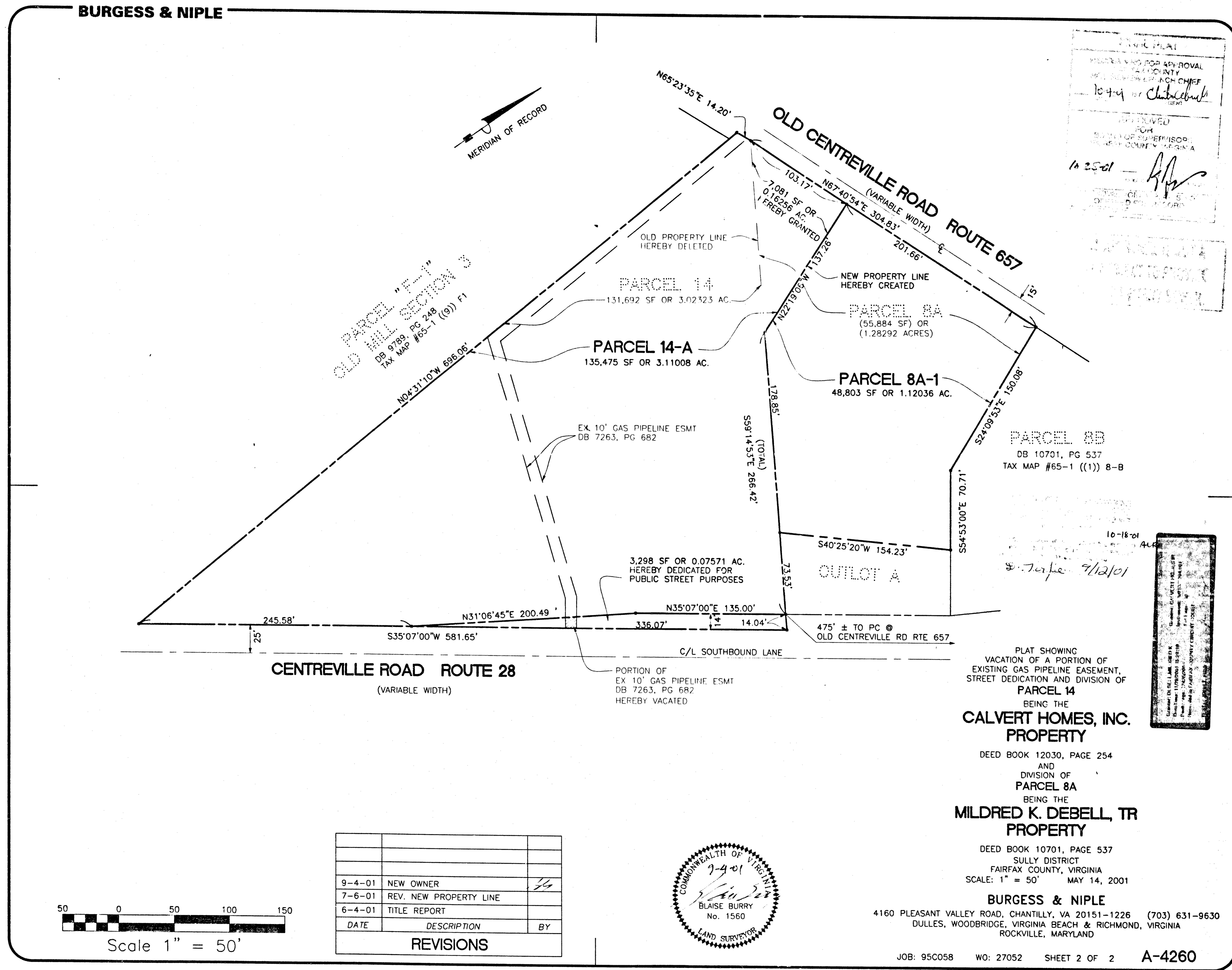
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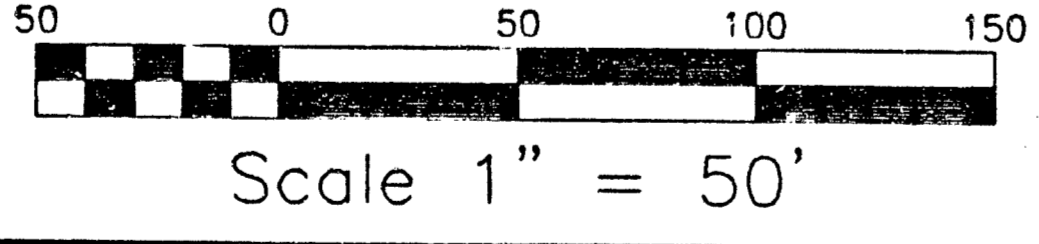
DATE	DESCRIPTION	BY
9-4-01	NEW OWNER	
7-6-01	REV. NEW PROPERTY LINE	SS
6-4-01	TITLE REPORT	

REVISIONS

1074-KP-01-1



File Name: s:\95C058\000\cadd\A4260.dwg



DATE	DESCRIPTION	BY
9-4-01	NEW OWNER	
7-6-01	REV. NEW PROPERTY LINE	
6-4-01	TITLE REPORT	
REVISIONS		

Prepared by and return to:

Ruth Ludeman, Esquire
McGuire, Woods, Battle & Boothe LLP
8280 Greensboro Drive, Suite 1400
McLean, VA 22102
(703) 712-5422

Tax Map Number: # 65-((1))-8

DEED OF DEDICATION, SUBDIVISION AND EASEMENT

THIS DEED OF DEDICATION, SUBDIVISION AND EASEMENT is made this 20th day of November, 1998, by and between **MILDRED K. DeBELL, TRUSTEE OF THE MILDRED K. DEBELL LIVING TRUST**, a trust formed under the laws of the Commonwealth of Virginia ("Owner") (Grantor); **THE BOARD OF SUPERVISORS OF FAIRFAX COUNTY, VIRGINIA**, a body corporate and politic ("County") (Grantee); and **THE FAIRFAX COUNTY WATER AUTHORITY**, a body corporate and politic ("Authority") (Grantee).

RECITALS

R.1. The Owner is the owner of certain real property situate in Fairfax County, Virginia, known as 6821 Old Centreville Road, Centreville, Fairfax County, with Fairfax County Map Number 65-((1))-8 (the "Property"), having acquired the Property by deed recorded in Deed Book 9246, at page 1636, among the land records of Fairfax County, Virginia ("Land Records"). The Property is shown on the plat attached hereto and incorporated herein by this reference (File No. A4039), dated October 13, 1998, and revised through November 17, 1998, entitled "Plat Showing A Division of Mildred K. DeBell Trustee Property", said plat prepared by Bengston, DeBell & Elkin, Ltd. of Chantilly, Virginia (the "Plat"). The Plat is attached hereto and incorporated herein.

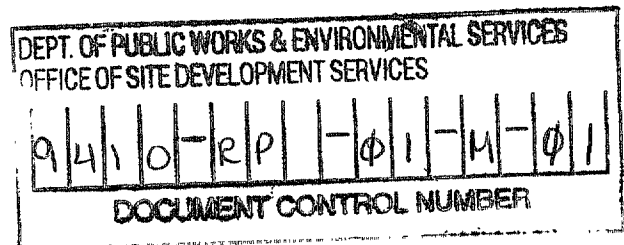
R.2. It is the desire and intent of the Owner to subdivide the Property into two Parcels and one Outlot, and to dedicate, grant, and convey a portion of the Property for public street purposes in accordance with this Deed of Dedication, Subdivision and Easement, and the Plat.

R.3. It is the desire and intent of the Owner to grant and convey unto the County the easements in the locations as shown on the Plat.

R.4. It is the desire and intent of the Owner to grant and convey unto the Authority the easement in the location as shown on the Plat.

NOW, THEREFORE, WITNESSETH:

The foregoing recitals are incorporated herein and made a part of this Deed of Dedication, Subdivision, and Easement.



SUBDIVISION

That for and in consideration of the premises and the sum of Ten Dollars (\$10.00), cash in hand paid, receipt and sufficiency of which are hereby acknowledged, the Owner does hereby subdivide the Property, containing a total of 2.94 acres, into two Parcels and one Outlot, to be known as Parcel 8A (containing 1.28292 acres), Parcel 8B (containing 1.04123 acres) and Outlot A (containing .22862 acres).

DEDICATION

That for and in consideration of the premises and the sum of Ten Dollars (\$10.00), cash in hand paid, receipt and sufficiency of which are hereby acknowledged, the Owner does hereby dedicate for public street purposes and convey to the County, in fee simple, the 16,900 square feet (1,570 sq. meters) of the Property labeled on Sheets 2 and 3 of the Plat as "1,570 SQ. METERS (16,900 S.F.) HEREBY DEDICATED FOR PUBLIC STREET PURPOSES." This dedication is made in accordance with the statutes made and provided therefore.

STORM DRAINAGE EASEMENT

That for and in consideration of the premises and the sum of Ten Dollars (\$10.00), cash in hand paid, the receipt and sufficiency of which are hereby acknowledged, the Owner does hereby grant and convey unto the County, its successors and assigns, Storm Drainage Easements for the purpose of constructing, operating, maintaining, adding to or altering present or future storm drainage facilities, sewers and appurtenances for the collection of storm drainage and its transmission through and across the Property, in the locations as more particularly bounded and described on the Plat as follows:

"0.733 M (2.40') STM. DRN. ESMT." (as shown on Sheet 2 of the Plat);
 "STORM DRAIN ESMT." (as shown on Sheet 3 of the Plat)

The Storm Drainage Easements are subject to the following conditions:

1. All storm drainage and appurtenant facilities which are installed in the easements and rights-of-way shall be and remain the property of the County, its successors and assigns.
2. The County and its agents or assigns shall have full and free use of the easements and rights-of-way for the purposes named, and shall have all rights and privileges reasonably necessary to the exercise of the easements and rights-of-way, including the right of access to and from the rights-of-way and the right to use adjoining land of the Owner where necessary; provided, however, that this right to use adjoining land shall be exercised only during periods of actual construction or maintenance, and further, this right shall not be construed to allow the County to erect any building, structure or facility of a permanent nature on such adjoining land.

3. The County shall have the right to trim, cut and remove trees, shrubbery, fences, structures or other obstructions or facilities in or reasonably near the easements being conveyed, deemed by it to interfere with the proper construction, operation and maintenance of said storm drainage facilities; provided, however, that the County at its own expense shall restore, as nearly as possible, the premises to their original condition, such restoration to include the backfilling of trenches, the replacement of shrubbery and the reseeding or resodding of lawns or pasture areas, but not the replacement of structures, trees or other obstructions.

4. The Owner reserves the right to make any use of the easements which may not be inconsistent with the rights herein conveyed, or interfere with the use of the easements by the County for the purposes named; provided, however, that no use shall be made of the easements which shall interfere with the natural drainage.

TRAIL EASEMENT

That for and in consideration of the premises and the sum of Ten Dollars (\$10.00), cash in hand paid, the receipt and sufficiency of which are hereby acknowledged, the Owner does hereby grant unto the County, its successors and assigns, a Trail Easement for the purpose of constructing, operating and maintaining a public trail through and across the Property in the location as more particularly bounded and described on Sheet 3 of the Plat as "TRAIL ESMT."

The Trail Easement shall be subject to the following terms and conditions:

1. All facilities installed in the easement and right-of-way shall be and remain the property of the County, its successors and assigns.

2. The County and its agents shall have full and free use of the easement and right-of-way for the purposes named, and shall have all rights and privileges reasonably necessary to the enjoyment and exercise of the easement and right-of-way, including the right of reasonable access to and from the right-of-way and the right to use adjoining land where necessary; provided, however, that this right to use adjoining land shall be exercised only during periods of actual surveying, construction, reconstruction or maintenance, and further, this right shall not be construed to allow the County to erect any building or structure of a permanent nature on such adjoining land.

3. The County shall have the right to trim, cut and remove trees, shrubbery, fences, structures or other obstructions or facilities in or near the easement being conveyed, deemed by it to interfere with the proper and efficient construction, operation, maintenance or enjoyment of the trail; provided, however, that the County at its own expense shall restore, as nearly as possible, the premises to their original condition, such restoration to include the backfilling of trenches, the replacement of shrubbery and the seeding or sodding of lawns or pasture areas, but not the replacement of structures, trees or other obstructions.

4. The Owner reserves the right to construct and maintain roadways over said easement and to make any use of the easement herein granted which may not be inconsistent with the rights herein conveyed, or interfere with the use of the easement by the County for the purposes named; provided, however, that Owner shall not erect any building or other structure on the easement, without obtaining the prior written approval of the County.

CONSERVATION EASEMENT

That for and in consideration of the premises and the sum of Ten Dollars (\$10.00), cash in hand paid, the receipt and sufficiency of which are hereby acknowledged, the Owner does hereby grant unto the County, its successors and assigns, a Conservation Easement for the purpose of conserving and preserving undisturbed the natural vegetation, topography, habitat and other natural features now existing on and across Outlot A, as more particularly bounded and described as "CONSERVATION EASEMENT" on Sheet 2 of the Plat.

The Conservation Easement is subject to the following conditions:

1. No use shall be made of, nor shall buildings or structures of any kind be constructed on, nor any improvements be made within, the Conservation Easement area without prior written authorization from the County.

2. All existing vegetation in the Conservation Easement area shall be preserved and protected and no clearing or grading shall be permitted, nor shall the easement area be denuded, defaced or otherwise disturbed without prior written approval of the appropriate agency or department of the County.

3. In the event of any violation of this Conservation Easement, the Owner shall be solely responsible for the restoration of the Conservation Easement to its condition as of the execution of this Deed of Dedication, Subdivision, Easement and Vacation. Further, the County and its agents shall have the right, but not the obligation, to enter upon the property and restore the Conservation Easement area to the extent the County may deem necessary. The cost of such restoration by the County shall be reimbursed to the County by the Owner, its successors and assigns, upon demand.

4. The Owner and the County agree that the agreements and covenants stated in paragraphs 1, 2 and 3 above are not covenants personal to the Owner but are covenants running with the land, which are and shall be binding upon the Owner, its heirs, personal representatives, successors and assigns, as owner of the portion of the Property subject to such easement.

RESTRICTIVE PLANTING EASEMENT

That for and in consideration of the premises and the sum of Ten Dollars (\$10.00), cash in hand paid, the receipt and sufficiency of which are hereby acknowledged, the Owner does hereby

grant and convey unto the County, its successors and assigns, a Restrictive Planting Easement for the purposes of promoting the stability of the dam and/or regulating plant growth within the easement area of the dam as further described as "ESMT. TO PROHIBIT PLANTING ON DAM" on Sheet 3 of the Plat attached hereto and made a part hereof.

The Restrictive Planting Easement is subject to the following terms and conditions:

1. The Owner, its successors and assigns, shall not place any structure, bulb, plant, tree or other object within the easement, except for grasses, without the written permission of the County.
2. The Owner, its successors and assigns, agrees to maintain the easement area by mowing, cutting and/or trimming all permitted plantings. The County shall have the right, but not the obligation, to enter the property in order to perform such maintenance if, in the County's sole judgment, the Owner fails to perform such maintenance. The costs of such maintenance shall be reimbursed to the County by the Owner, its successors and assigns, upon demand.
3. The Owner reserves the right to make any use of the easement area that will not be inconsistent with the terms and conditions of this easement.
4. This easement does not constitute a covenant personal but is a covenant running with the land which is and shall be binding on the Owner, its heirs, personal representatives, successors and assigns.

WATER AUTHORITY EASEMENT

That for and in consideration of the premises and the sum of Ten Dollars (\$10.00), cash in hand paid, the receipt and sufficiency of which are hereby acknowledged, the Owner does hereby grant and convey unto the Authority, its successors and assigns, an easement and right-of-way for the purpose of constructing, operating, maintaining, adding to, or altering present or future water mains, including fire hydrants, valves, meters, building service connections, and other appurtenant facilities for the transmission and distribution of water through, upon, and across the Property, in the location as more particularly bounded and described as "FCWA ESMT" on Sheet 3 of the Plat.

The water authority easement is subject to the following conditions:

1. All water mains and appurtenant facilities which are installed in the easement and right-of-way shall be and remain the property of the Authority, its successors and assigns.
2. The Authority and its agents shall have full and free use of the easement and right-of-way for the purposes named, and shall have all rights and privileges reasonably necessary to the exercise of the easement and right-of-way, including the right of access to and from the right-of-

way and the right to use abutting land adjoining the easement when necessary; provided, however, that this right to use abutting land shall be exercised only during periods of actual construction or maintenance, and then only to the minimum extent necessary for such construction and maintenance, and further, this right shall not be construed to allow the Authority to erect any building or structure of a permanent nature on such abutting land.

3. The Authority shall have the right to trim, cut, and remove trees, shrubbery, fences, structures, or other obstructions or facilities in or near the easement hereby conveyed reasonably deemed by it to interfere with the proper and efficient construction, operation, and maintenance of the water mains and appurtenant facilities; provided, however, that the Authority, at its own expense, shall restore as nearly as possible, to their original condition, all land or premises included within or abutting the easement which are disturbed in any manner by the construction, operation, and maintenance of the water mains and appurtenant facilities. Such restoration shall include the backfilling of trenches, the replacement of fences and shrubbery, the reseeded or resodding of lawns or pasture areas, and the replacement of structures and other facilities located without the easement, but shall not include the replacement of structures, trees, and other facilities located within the easement.

4. The Owner reserves the right to construct and maintain roadways over the easement and to make any use of the land encumbered by easement herein granted which is consistent with the rights herein conveyed and does not interfere with the use of the easement by the Authority for the purposes named; provided, however, that the Owner shall not erect any building or other structure, except a fence, or change existing ground elevation or impound any water on the easement without obtaining the prior written approval of the Authority.

5. At such time as any portion of the land within the easements herein granted is accepted by the Commonwealth of Virginia or any appropriate agency thereof for maintenance into the state highway system, all easement rights acquired by the Authority by this instrument in such portion of land shall cease and terminate, provided that the Commonwealth of Virginia or any appropriate agency thereof concurrently grants to the Authority all necessary permits for the continued operation, maintenance, inspection, repair and replacement of its water mains and appurtenant facilities in said location.

6. The Owner covenants that he/it is seized of and has the right to convey said easement, rights and privileges; that the Authority shall have quiet peaceable possession, use and enjoyment of the easements, rights and privileges, and that the Owner shall execute such further assurances thereof as may be required.

PRIVATE WATERLINE EASEMENT

After subdivision and upon the conveyance of Parcel 8B, if any, by Owner to a third party, Owner will reserve an exclusive easement and right-of-way for the purpose of constructing, operating, maintaining, adding to, or altering present or future water service lines, valves, meters,

and other appurtenant facilities for the transmission and distribution of water through, upon, and across Parcel 8B in the location as more particularly bounded and described as "PRIVATE WATERLINE ESMT." on Sheet 3 of the Plat. Said reservation of easement and right-of-way will be more particularly described in either (i) a Deed whereby Owner conveys Parcel 8B to a third party or (ii) by a separate private easement agreement between Owner and the future Owner of Parcel 8B.

BEST MANAGEMENT PRACTICES (BMP) CREDITS

A stormwater management pond will be built on Parcel 8B and will be governed by a separate Stormwater Detention Agreement between the County and the Owner of Parcel 8B. Along with the building of the stormwater management pond on Parcel 8B, the creation of Outlot A as an Outlot subject to a Conservation Easement, as further depicted on the Plat, will satisfy the current County requirements for BMP credits for the benefit of both Parcel 8A, a residentially used parcel in an R-1 zoned district, and Parcel 8B, a commercially used parcel in an R-1 zoned district. Accordingly, by evaluating Parcel 8A, Outlot A, and Parcel 8B as one parcel prior to subdivision (hereinafter "Pre-Subdivision Parcel"), the imposition of a Conservation Easement on Outlot A in combination with the building of the stormwater management pond on Parcel 8B will fulfill the County requirements for BMP credits for phosphorous removal on the Pre-Subdivision Parcel. After subdivision, should the Owners of Parcel 8A, Outlot A, and Parcel 8B plan to further develop, subdivide or transfer their properties, such future development, subdivision or transfer must be structured such that the proposed new development will remain in compliance with the then current BMP requirements. The Owners of Parcel 8A and Parcel 8B are not prohibited from purchasing additional property to meet any future BMP requirements imposed by the County.

MISCELLANEOUS PROVISIONS

1. The parties agree that the agreements and covenants stated above are not covenants personal to the Owner but are covenants running with the land, which are and shall be binding upon the Owner, its heirs, personal representatives, successors and assigns, as owner of the Property.

2. This Deed of Dedication, Subdivision and Easement is made in accordance with the statutes made and provided in such cases; with the approval of the proper authorities of Fairfax County, Virginia, as shown by the signatures affixed to this Deed and the Plat, and is made with the free consent and in accordance with the desire of the Owner and proprietor of the land within the bounds of the subdivision, and the trustees, if any.

3. The Owner covenants that he/it is seized of and has the right to convey said easements, rights and privileges to the County; that the County shall have quiet peaceable possession, use and enjoyment of the easements, rights and privileges, and that the Owner shall execute such further assurances thereof as may be required.

4. This Deed of Dedication, Subdivision and Easement may be executed in any number of counterparts and by different parties hereto in separate counterparts, each of which when so executed and delivered shall be deemed an original and all of which when taken together shall constitute but one and the same instrument.

[The remainder of this page is intentionally left blank]

FURTHER WITNESS THE FOLLOWING SIGNATURES AND SEALS.

Mildred K DeBell
Mildred K. DeBell, an individual,
As Trustee of the Mildred K. DeBell Living Trust,
A trust formed under the laws of Virginia

COMMONWEALTH OF VIRGINIA
COUNTY OF FAIRFAX

The foregoing instrument was acknowledged before me this 20th day of November, 1998, by Mildred K. DeBell, as Trustee of the Mildred K. DeBell Living Trust on behalf of the Mildred K. DeBell Living Trust.

[Signature]
Notary Public

My Commission Expires: 3/31/99

Accepted on behalf of the Board of Supervisors of Fairfax County, Virginia, by authority granted by said Board.

Approved as to form:

Arthur W. Oakley
Assistant County Attorney

[Signature]
Acting Director,
Office of Site Development Services

COMMONWEALTH OF VIRGINIA,
COUNTY OF FAIRFAX, to wit:

The foregoing instrument was acknowledged before me by Michelle Brickner
Michelle Brickner, Director, Office of Site Development Services, on this the 11th day of
December, 1998.

Ashella H. Langhorne
Notary Public

My Commission Expires: June 30, 2000

with plat attached

\\TYS\5422U\A\DEBELA\DEED7.WPD

DEC 11 98
RECORDED FAIRFAX CO VA
TESTE: [Signature]
CLERK

SURVEYOR'S CERTIFICATE:

I, SUSAN E. STANCIK, A DULY LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA, DO HEREBY STATE THAT I HAVE CAREFULLY REVIEWED THE PROPERTY DELINEATED BY THIS PLAT AND THAT IT IS CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT IT IS A PARCEL OF LAND ACQUIRED BY MIDRED K. DEBELL RECORDED IN DEED BOOK 9246, PAGE 1636 IN THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.

I FURTHER STATE THAT THE LAND EMBRACED IN THIS SUBDIVISION LIES ENTIRELY WITHIN THE BOUNDS OF THE ORIGINAL TRACT, THAT THIS PLAT REPRESENTS AN ACCURATE SURVEY OF THE SAME, AND THAT ALL COURSES ARE REFERENCES TO VIRGINIA STATE GRID NORTH IN ACCORDANCE WITH THE REQUIREMENT OF THE FAIRFAX COUNTY SUBDIVISION ORDINANCE.

GIVEN UNDER MY HAND THIS 13th DAY OF OCTOBER 1998.

Susan E. Stancik

SUSAN E. STANCIK, L.S. REG. #1818

9. THE CONSERVATION EASEMENT AS DELINEATED HEREON IS DESIGNATED BY FAIRFAX COUNTY AS A WATER QUALITY MANAGEMENT AREA, BMP CREDIT ALLOWED FOR OPEN SPACE. NO USE OR DISTURBANCE OF THIS AREA IS PERMITTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DIRECTOR OF THE OFFICE OF SITE DEVELOPMENT SERVICES.

APPROVED
COUNTY OF FAIRFAX
OFFICE OF SITE DEVELOPMENT SERVICES
FAIRFAX, VIRGINIA

BY *S. E. Stancik* DATE *11/24/98*

AREA TABULATION:

PARCEL 8A	5,192 S.M. (55,888 S.F.)	OR 0.51918 HECTARES (1.28292 AC.)
OUTLOT A	925 S.M. (9,957 S.F.)	OR 0.09252 HECTARES (0.22862 AC.)
PARCEL 8B	4,214 S.M. (45,360 S.F.)	OR 0.42137 HECTARES (1.04123 AC.)
STREET DEDICATION	1,570 S.M. (16,900 S.F.)	OR 0.15697 HECTARES (0.38787 AC.)
TOTAL SITE AREA	11,901 S.M. (128,105 S.F.)	OR 1.19004 HECTARES (2.94064 AC.)

APPROVED
COUNTY OF FAIRFAX
OFFICE OF BUILDING CODE SERVICES
PERMITS DIVISION - SITE PERMITS SECTION
STREET ADDRESS FUNCTION

BY *Adeloy* DATE *12/1/98*

APPROVED
COUNTY OF FAIRFAX
OFFICE OF SITE DEVELOPMENT SERVICES
FAIRFAX, VIRGINIA

All street locations and/or easements the requirements of this office and the agreements or bonds have been received.

By *Stancik* Date *11/12/98*

DATE	DESCRIPTION	BY
11-25-98	REVISED NOTES 8 & 9	<i>MS</i>
11-17-98	REV. STM, SEW, ESMT.	<i>MS</i>
11/16/98	STM. & CONSERVATION ESMT. REV	<i>MS</i>
11-6-98	ADD DB & PG TO STM. ESMT.	<i>MS</i>
11-2-98	COUNTY COMMENTS	<i>MS</i>
	DESCRIPTION	BY

REVISIONS

COMMONWEALTH OF VIRGINIA
10-13-98
Susan E. Stancik
SUSAN E. STANCIK
No. 1818
LAND SURVEYOR

GRAPHIC SCALE



Scale 1 : 300

10701 0548

OWNER'S CERTIFICATE:

WE THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN HEREON AND DESCRIBED IN THE SURVEYOR'S CERTIFICATE, HEREBY ADOPT THIS PLAN OF SUBDIVISION, DEDICATE THE STREET(S) FOR PUBLIC USE, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND AGREE THAT IRON PIPES WILL BE PLACED AT ALL PROPERTY CORNERS AS INDICATED AND FURTHER VACATE THE EASEMENT(S) AS INDICATED ON THIS PLAT, ALL IN ACCORDANCE WITH THE REQUIREMENTS OF THE FAIRFAX COUNTY SUBDIVISION ORDINANCE UNDER THE SUPERVISION OF AN ENGINEER OR SURVEYOR. WE HEREBY CERTIFY THAT ALL WETLANDS PERMITS REQUIRED BY LAW WILL BE OBTAINED PRIOR TO COMMENCING LAND DISTURBING ACTIVITIES.

Mildred K. DeBell, Trustee
OWNER
DATE 11/18/98

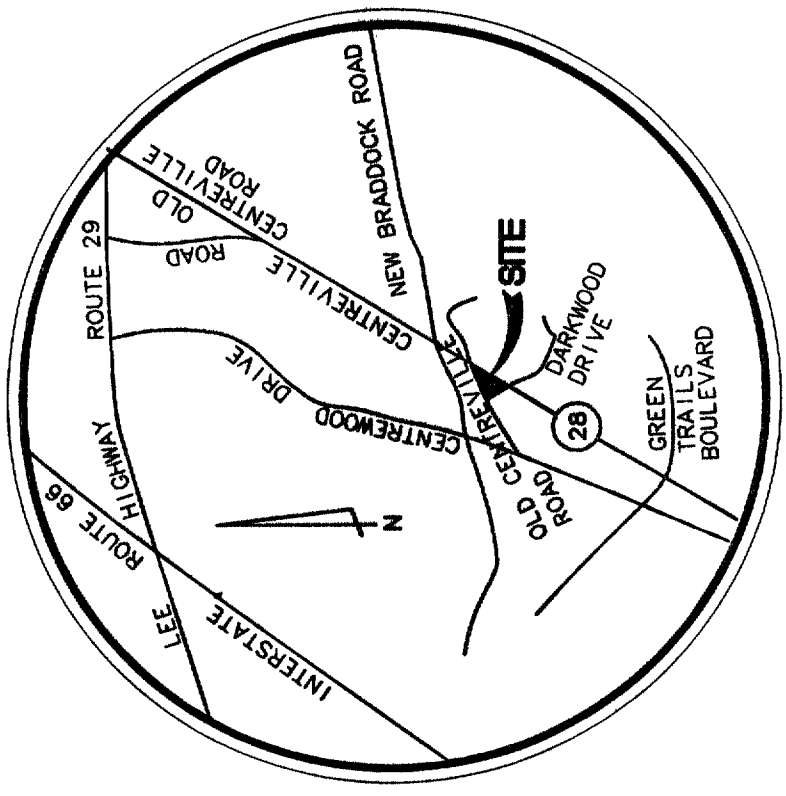
NOTES:

1. NO TITLE REPORT FURNISHED.
2. THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON MAP NO. 65-1 ((1)) PART OF PARCEL 8, AND IS ZONED
3. OWNER/APPLICANT:
MILDRED K. DEBELL, TRUSTEE
BOX 367
6321 OLD CENTREVILLE ROAD
CENTREVILLE, VIRGINIA 22020
DEED BOOK 9246, PAGE 1636
4. BOUNDARY BASED ON INFORMATION OF RECORD. NO TITLE FURNISHED.
5. PRIVATE WATERLINE EASEMENT AS SHOWN HEREON PROVIDE SOLE USE OF THE OWNER OF LOT 8A.
6. ALL PREVIOUSLY RECORDED RIGHTS-OF-WAY EASEMENTS & INTERESTS OF THE COUNTY REMAIN IN FULL FORCE AND A OTHERWISE SPECIFICALLY SHOWN ON THIS PLAT.
7. ENGINEERING GEOLOGY AND/OR SOILS REPORTS PERTAINING PROPERTIES DESCRIBED HEREIN HAVE BEEN REVIEWED AND FAIRFAX COUNTY, AND ARE AVAILABLE FOR REVIEW IN THE PUBLIC WORKS AND ENVIRONMENTAL SERVICES. SITE COND SUCH A NATURE THAT LAND SLIPPAGE OR FOUNDATION POSSIBILITIES REQUIRED THE SUBMITTAL OF SOILS REPORT SAID REPORTS ARE AVAILABLE AT THE DEPARTMENT OF PL AND ENVIRONMENTAL SERVICES.
8. THE LAND AREA WITHIN THE CONSERVATION EASEMENT ON IS TO BE UTILIZED FOR WATER QUALITY IMPROVEMENT PURP BENEFIT OF THE PROPERTY AS A WHOLE (LOT 8A, LOT 8B AND SHALL REMAIN AS OPEN SPACE SUBJECT TO THE CONG EASEMENT UNLESS AND UNTIL THE OWNERS OF LOT 8A, LC OUTLOT A PLAN TO FURTHER DEVELOP, SUBDIVIDE OR TRA PROPERTIES, IN WHICH CASE SUCH FUTURE DEVELOPMENT TRANSFER MUST BE STRUCTURED SUCH THAT THE PROPOS DEVELOPMENT WILL REMAIN IN COMPLIANCE WITH THE THEN BMP REQUIREMENTS.
9. THE CONSERVATION EASEMENT AS DELINEATED HEREON IS BY FAIRFAX COUNTY AS A WATER QUALITY MANAGEMENT CREDIT ALLOWED FOR OPEN SPACE. NO USE OR DISTURBAN AREA IS PERMITTED WITHOUT THE EXPRESS WRITTEN PERM THE DIRECTOR OF THE OFFICE OF SITE DEVELOPMENT SER

SURVEYOR'S CERTIFICATE:

I, SUSAN E. STANCIK, A DULY LICENSED LAND SURVEYOR IN THE COMMONWEALTH OF VIRGINIA, DO HEREBY STATE THAT I HAVE CAREFULLY REVIEWED THE PROPERTY DELINEATED BY THIS PLAT AND THAT IT IS CORRECT TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF THAT IT IS A PARCEL OF LAND ACQUIRED BY MILDRED K. DEBELL RECORDED IN DEED BOOK 9246, PAGE 1636 IN THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.

I FURTHER STATE THAT THE LAND EMBRACED IN THIS SUBDIVISION LIES ENTIRELY WITHIN THE BOUNDS OF THE ORIGINAL TRACT, THAT THIS PLAT



VICINITY MAP
SCALE: 1"=2000'

FINAL PLAT	
RECOMMENDED FOR APPROVAL FAIRFAX COUNTY SITE REVIEW BRANCH CHIEF	
12/19/98 BY <i>[Signature]</i> DATE AGENT	
APPROVED FOR BOARD OF SUPERVISORS FAIRFAX COUNTY, VIRGINIA	
12/10/98 BY <i>[Signature]</i> DATE Director, Public Works & Environmental Services or Agent	
APPROVAL VOID IF PLAT IS NOT	

APPROVED
COUNTY OF FAIRFAX
OFFICE OF SITE DEVELOPMENT SERVICES
SANITARY SEWER SECTION

BY *[Signature]*
DATE 11/24/98

NOTES:

1. NO TITLE REPORT FURNISHED.
2. THE PROPERTY DELINEATED ON THIS PLAT IS LOCATED ON ASSESSMENT MAP NO. 65-1 ((1)) PART OF PARCEL 8, AND IS ZONED R-1
3. OWNER/APPLICANT:
MILDRED K. DEBELL, TRUSTEE
BOX 367
6321 OLD CENTREVILLE ROAD
CENTREVILLE, VIRGINIA 22020
DEED BOOK 9246, PAGE 1636
4. BOUNDARY BASED ON INFORMATION OF RECORD. NO TITLE REPORT FURNISHED.
5. PRIVATE WATERLINE EASEMENT AS SHOWN HEREON PROVIDED FOR THE SOLE USE OF THE OWNER OF LOT 8A.
6. ALL PREVIOUSLY RECORDED RIGHTS-OF-WAY EASEMENTS OR OTHER INTERESTS OF THE COUNTY REMAIN IN FULL FORCE AND AFFECT UNLESS OTHERWISE SPECIFICALLY SHOWN ON THIS PLAT.
7. ENGINEERING GEOLOGY AND/OR SOILS REPORTS PERTAINING TO PROPERTIES DESCRIBED HEREIN HAVE BEEN REVIEWED AND APPROVED BY FAIRFAX COUNTY, AND ARE AVAILABLE FOR REVIEW IN THE DEPARTMENT OF PUBLIC WORKS AND ENVIRONMENTAL SERVICES. SITE CONDITIONS ARE OF SUCH A NATURE THAT LAND SLIPPAGE OR FOUNDATION PROBLEM POSSIBILITIES REQUIRED THE SUBMITTAL OF SOILS REPORTS. COPIES OF SAID REPORTS ARE AVAILABLE AT THE DEPARTMENT OF PUBLIC WORKS AND ENVIRONMENTAL SERVICES.

8. THE LAND AREA WITHIN THE CONSERVATION EASEMENT ON OUTLOT "A" IS TO BE UTILIZED FOR WATER QUALITY IMPROVEMENT PURPOSES FOR THE BENEFIT OF THE PROPERTY AS A WHOLE (LOT 8A, LOT 8B AND OUTLOT A) AND SHALL REMAIN AS OPEN SPACE SUBJECT TO THE CONSERVATION EASEMENT UNLESS AND UNTIL THE OWNERS OF LOT 8A, LOT 8B AND/OR OUTLOT A PLAN TO FURTHER DEVELOP, SUBDIVIDE OR TRANSFER THEIR PROPERTIES, IN WHICH CASE SUCH FUTURE DEVELOPMENT, SUBDIVISION OR TRANSFER MUST BE STRUCTURED SUCH THAT THE PROPOSED NEW DEVELOPMENT WILL REMAIN IN COMPLIANCE WITH THE THEN CURRENT BMP REQUIREMENTS.
9. THE CONSERVATION EASEMENT AS DELINEATED HEREON IS DESIGNATED BY FAIRFAX COUNTY AS A WATER QUALITY MANAGEMENT AREA. BMP CREDIT ALLOWED FOR OPEN SPACE. NO USE OR DISTURBANCE OF THIS AREA IS PERMITTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DIRECTOR OF THE OFFICE OF SITE DEVELOPMENT SERVICES.

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AND
BOOK 9246,
Y, VIRGINIA.
DIVISION LIES
AT THIS PLAT

8. THE LAND AREA WITHIN THE CONSERVATION EASEMENT ON OUTLOT 'A' IS TO BE UTILIZED FOR WATER QUALITY IMPROVEMENT PURPOSES FOR THE BENEFIT OF THE PROPERTY AS A WHOLE (LOT 8A, LOT 8B AND OUTLOT A) AND SHALL REMAIN AS OPEN SPACE SUBJECT TO THE CONSERVATION EASEMENT UNLESS AND UNTIL THE OWNERS OF LOT 8A, LOT 8B AND/OR OUTLOT A PLAN TO FURTHER DEVELOP, SUBDIVIDE OR TRANSFER THEIR PROPERTIES, IN WHICH CASE SUCH FUTURE DEVELOPMENT, SUBDIVISION OR TRANSFER MUST BE STRUCTURED SUCH THAT THE PROPOSED NEW DEVELOPMENT WILL REMAIN IN COMPLIANCE WITH THE THEN CURRENT BMP REQUIREMENTS.

9. THE CONSERVATION EASEMENT AS DELINEATED HEREON IS DESIGNATED BY FAIRFAX COUNTY AS A WATER QUALITY MANAGEMENT AREA. BMP CREDIT ALLOWED FOR OPEN SPACE, NO USE OR DISTURBANCE OF THIS AREA IS PERMITTED WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE DIRECTOR OF THE OFFICE OF SITE DEVELOPMENT SERVICES.

AREA TABULATION:

PARCEL 8A 5,192 S.M. (55,888 S.F.) OR 0.51918 HECTARES (1.28292 AC.)
 OUTLOT A 925 S.M. (9,957 S.F.) OR 0.09252 HECTARES (0.22862 AC.)
 PARCEL 8B 4,214 S.M. (45,360 S.F.) OR 0.42137 HECTARES (1.04123 AC.)
 STREET DEDICATION 1,570 S.M. (16,900 S.F.) OR 0.15697 HECTARES (0.38787 AC.)
 TOTAL SITE AREA 11,901 S.M. (128,105 S.F.) OR 1.19004 HECTARES (2.94064 AC.)

APPROVED
 COUNTY OF FAIRFAX
 OFFICE OF BUILDING CODE SERVICES
 PERMITS DIVISION, SITE PERMITS SECTION
 STREET ADDRESS FUNCTION

BY Adolph
 DATE 12/1/98

APPROVED
 COUNTY OF FAIRFAX
 OFFICE OF BUILDING CODE SERVICES
 PERMITS DIVISION, SITE PERMITS SECTION
 STREET ADDRESS FUNCTION

All street locations and/or easements conform to the requirements of this office and the necessary agreements or bonds have been received.

By H.M. Kelly Date 11-25-98
JE 12-8-98



	SEA
	SEA
T. REV	SEA
ESMT.	SEA
	SEA
	BY

APPROVED
 COUNTY OF FAIRFAX
 OFFICE OF SITE DEVELOPMENT SERVICES
 SANITARY SEWER SECTION

BY S.P. Kestner
 DATE 11/24/98

RECOMMENDED FOR APPROVAL
 FAIRFAX COUNTY
 SITE REVIEW BRANCH CHIEF

12/19/98 BY [Signature]
 DATE AGENT

APPROVED
 FOR
 BOARD OF SUPERVISORS
 FAIRFAX COUNTY, VIRGINIA

12/10/98 BY [Signature]
 DATE Director, Public Works & Environmental Services
 or Agent

APPROVAL VOID IF PLAT IS NOT
 OFFERED FOR RECORD ON OR
 BEFORE _____

**THIS APPROVAL IS NOT A
 COMMITMENT TO PROVIDE
 PUBLIC SANITARY SEWER.**

PLAT SHOWING
 A DIVISION OF
**MILDRED K. DEBELL
 TRUSTEE PROPERTY**
 DEED BOOK 9246, PAGE 1636
 SULLY DISTRICT
 FAIRFAX COUNTY, VIRGINIA
 SCALE: 1 : 300 OCTOBER 13, 1998

BENGTSON, DEBELL, & ELKIN, LTD
 ENGINEERS, SURVEYORS, PLANNERS & LANDSCAPE ARCHITECTS
 4160 PLEASANT VALLEY ROAD, CHANTILLY, VA 20151-1226 (703) 631-9630
 DULLES, LEESBURG, WOODBRIDGE, VIRGINIA BEACH & RICHMOND, VIRGINIA
 ROCKVILLE, MARYLAND

Ref: 9410-SP-01

REFERENCE PLAN: 9410-SP-01
 0550 1070148

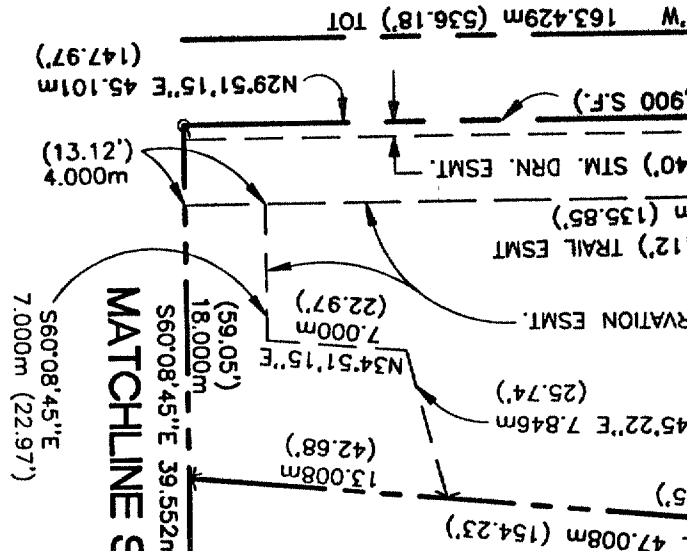
9410-SP-01

BK10701

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(VARIABLE WIDTH)

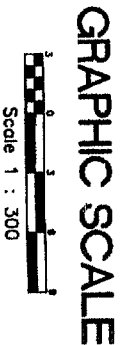
LOAD ROUTE 28
C/L SOUTHBOUND LANE



MATCHLINE SHEET 3

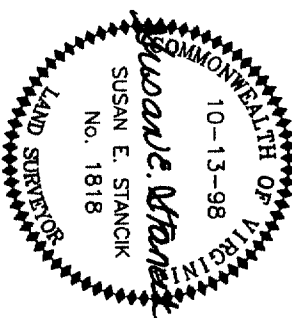
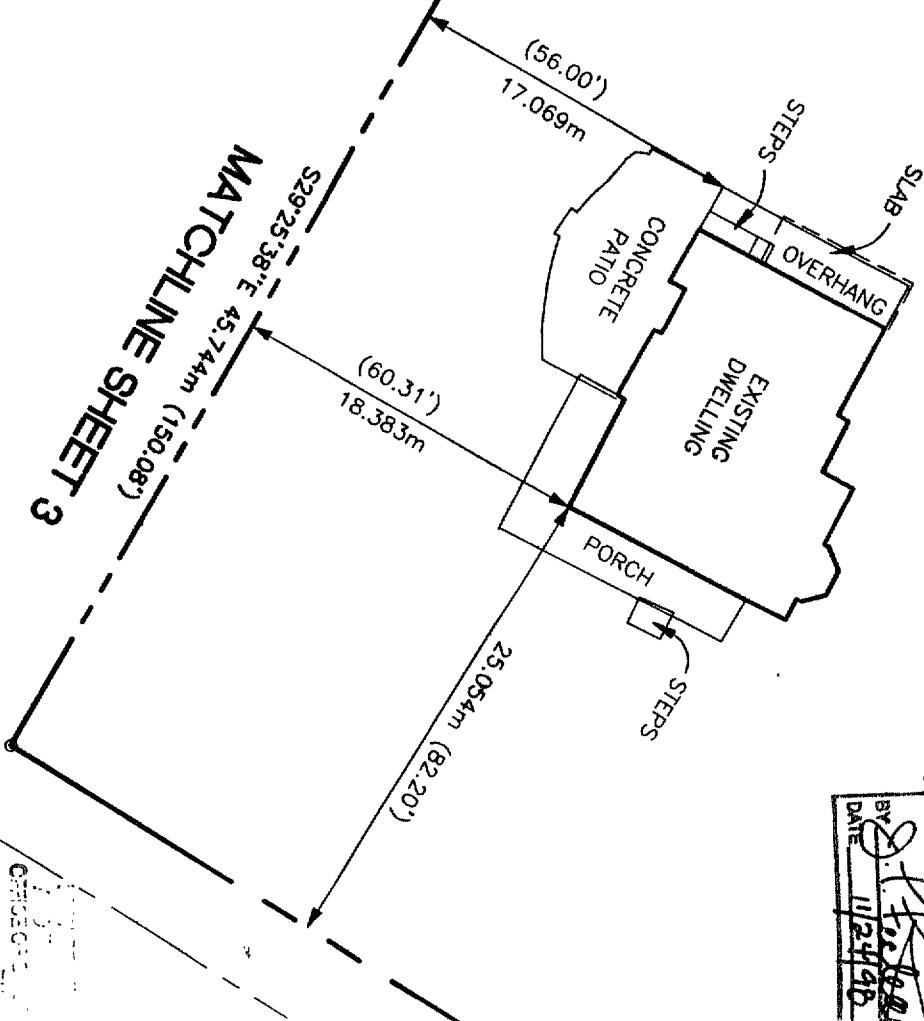
APPROVED
COUNTY OF FAIRFAX
OFFICE OF BUILDING CODE SERVICES
PERMITS DIVISION - SITE PERMITS SECTION
STREET ADDRESS: 5711 N. NATION

BY Adhaya
DATE 12/1/28



DATE	DESCRIPTION	BY
11-25-98	REVISED NOTES 8 & 9	ALL
11-17-98	REV. STM. SEW. ESMT.	WJ
11/16/98	STM. & CONSERVATION ESMT. REV.	WJ
11-6-98	ADD DB & PG TO STM. ESMT.	WJ
11-2-98	COUNTY COMMENTS	WJ

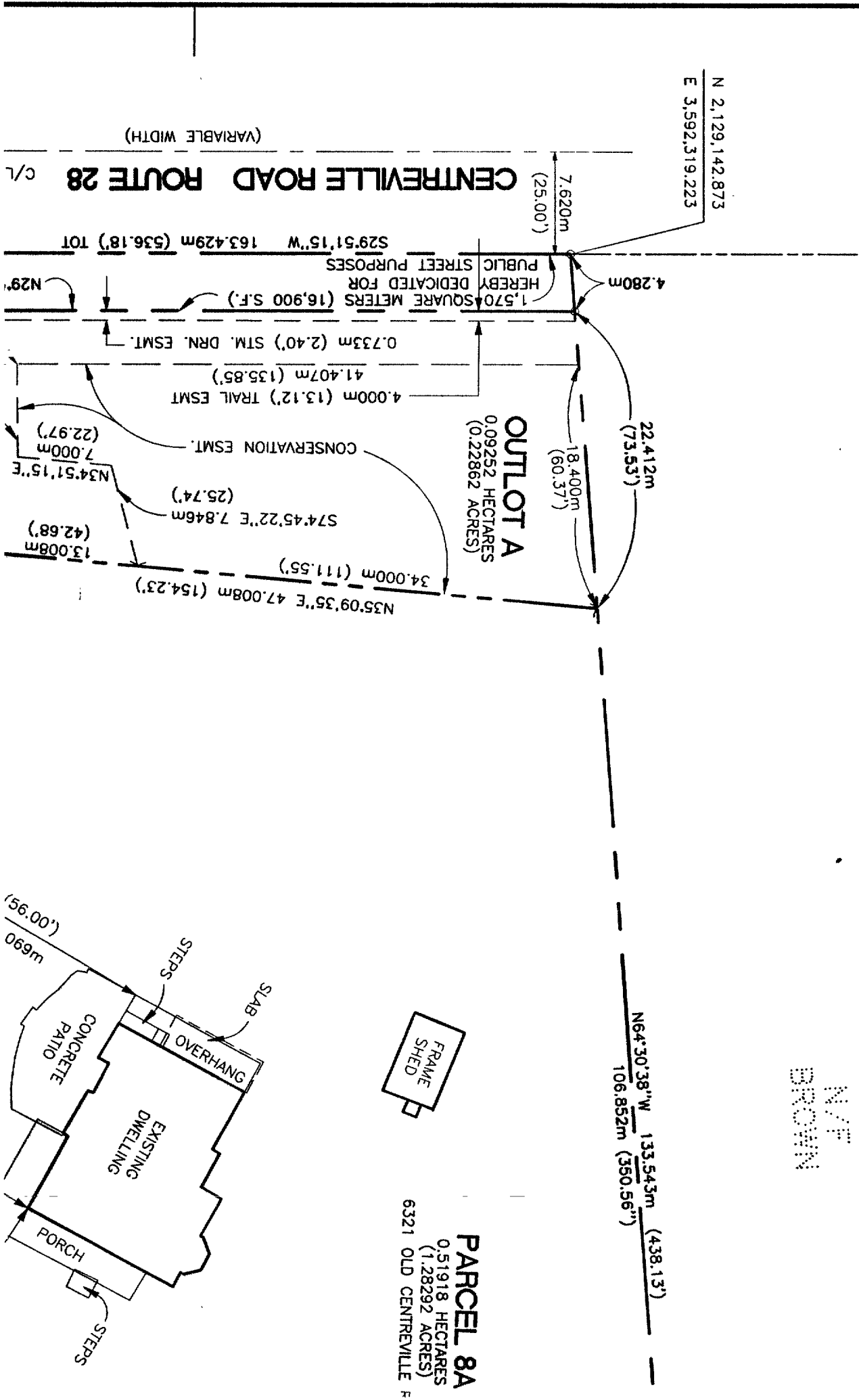
REVISIONS



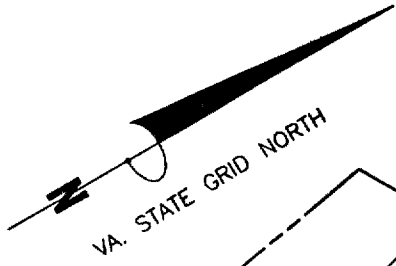
All street locations are the requirements of the representatives or boards in

Adhaya

BY S. E. Stancik
DATE 11/24/98



N/E
BROWN



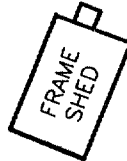
VA. STATE GRID NORTH

N 2,129,200.342
E 3,592,198.678

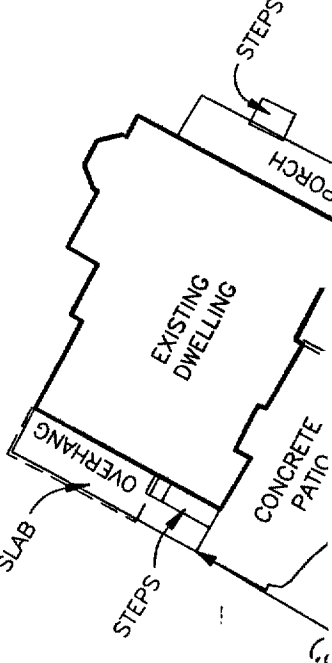
N/F
BROWN

N64°30'38"W 133.543m (438.13')
106.852m (350.56")

PARCEL 8A
0.51918 HECTARES
(1.28292 ACRES)
6321 OLD CENTREVILLE ROAD



APPROVED
COUNTY OF FAIRFAX
OFFICE OF SITE DEVELOPMENT SERVICES
SANITARY SEWER SECTION
BY: *[Signature]*
DATE: 11/24/98



ROAD ROUTE 657
N62°25'09"E 92.914m (304.84')
99.373m (326.03') 101' (WIDTH)

FINAL PLAT
RECOMMENDED FOR APPROVAL
FAIRFAX COUNTY
SITE REVIEW BRANCH CHIEF
12/9/98 BY: *[Signature]*
DATE: 12/9/98
APPROVED FOR BOARD OF SUPERVISORS

N35°09'35"E 47.008m (154.23')

FINAL PLAT	
RECOMMENDED FOR APPROVAL FAIRFAX COUNTY SITE REVIEW BRANCH CHIEF	
DATE 12/9/98	BY <i>[Signature]</i> AGENT
APPROVED FOR BOARD OF SUPERVISORS FAIRFAX COUNTY, VIRGINIA	
DATE 12-10-98	BY <i>[Signature]</i> Director, Public Works & Environmental Services or Agent
APPROVAL VOID IF PLAT IS NOT OFFERED FOR RECORD ON OR BEFORE _____	

**THIS APPROVAL IS NOT A
COMMITMENT TO PROVIDE
PUBLIC SANITARY SEWER.**

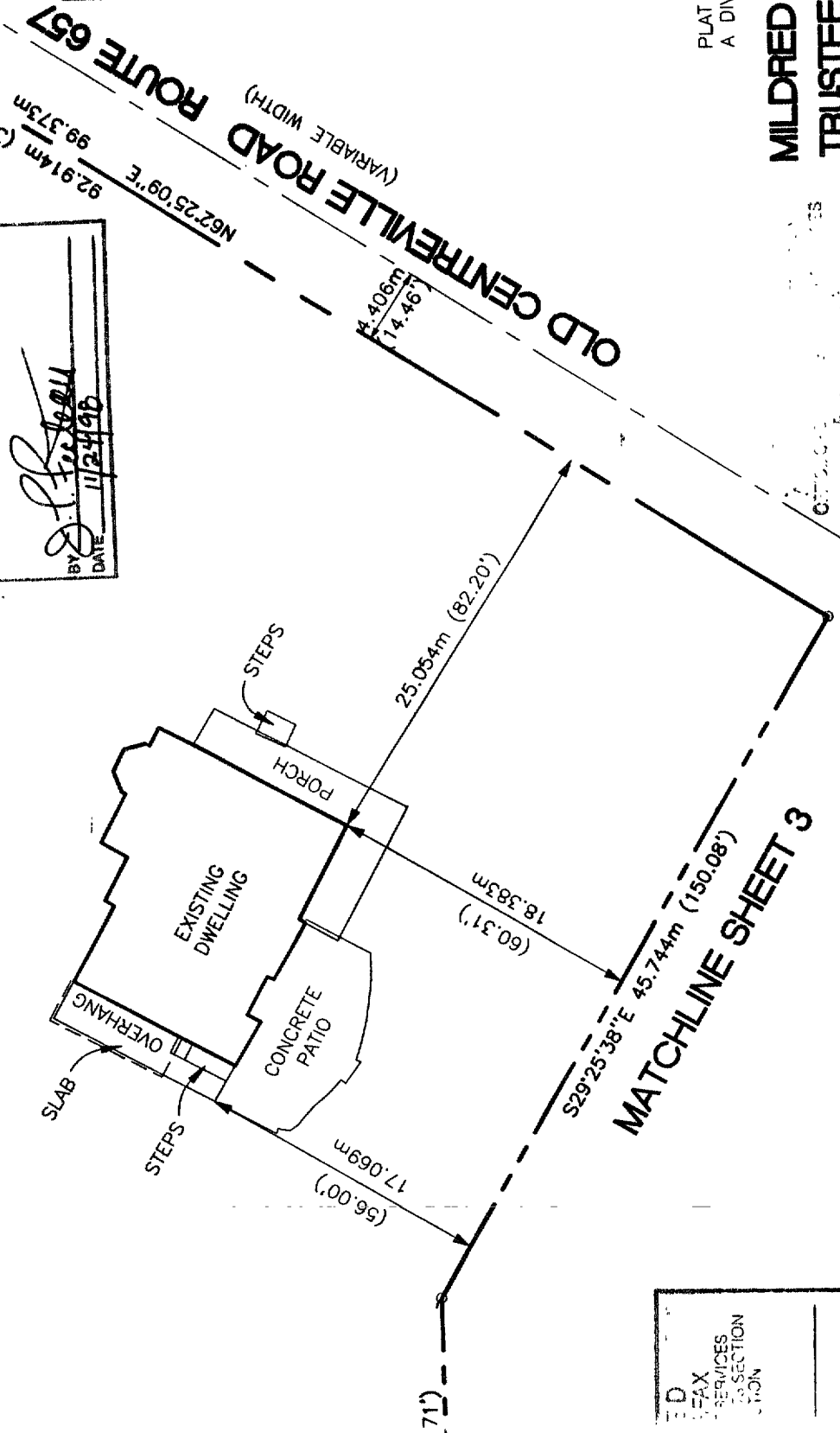
PLAT SHOWING
A DIVISION OF

**MILDRED K. DEBELL
TRUSTEE PROPERTY**

DEED BOOK 9246, PAGE 1636
SULLY DISTRICT
FAIRFAX COUNTY, VIRGINIA
SCALE: 1 : 300 OCTOBER 13, 1998

BENGTSON, DEBELL, & ELKIN, LTD
ENGINEERS, SURVEYORS, PLANNERS & LANDSCAPE ARCHITECTS
4160 PLEASANT VALLEY ROAD, CHANTILLY, VA 20151-1226 (703) 631-9630
DULLES, LEESBURG, WOODBRIDGE, VIRGINIA BEACH & RICHMOND, VIRGINIA
ROCKVILLE, MARYLAND

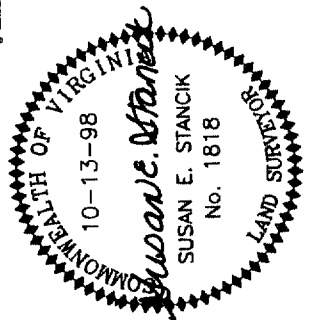
JOB: 86C036 WO: CT02359500 SHEET 2 OF 3 A-4039



BY *[Signature]*
DATE 11/24/98

All street locations and easements conform to the requirements of this office and the necessary agreements or bonds have been received.

By *[Signature]* Date 11-25-98



ED
FAFAX
SERVICES
SECTION
TION

S & 9	<i>[Signature]</i>
W. ESMT.	<i>[Signature]</i>
VATION ESMT. REV	<i>[Signature]</i>
S TO STM. ESMT.	<i>[Signature]</i>
MENTS	<i>[Signature]</i>
RIPTION	BY

IONS

NE SHEET 2

PARCEL 8B
0.42137 HECTARES
(1.04123 ACRES)
6319 OLD CENTREVILLE ROAD

S64°04'37"W 28.771m (94.39')

4.69
60.91
2.34
7.55

S49°29'35"E
7.196m (23.61')

S14°35'07"E
20.839m (68.37')

12.2
(40')

① R 43.1
(R=143.4)

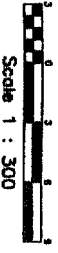
1.570 SQ. METERS (FOOTPRINT)
HEREBY DEDICATED FOR
PUBLIC STREET PURPOSES

29°25'38"W 45.744m (150.08')

MATCHLINE SHEET 2

APPROVED
COUNTY OF FAIRFAX
OFFICE OF BUILDING CODE SERVICES
PERMITS DIVISION - SITE PERMITS SECTION
STREET ADDRESS FUNCTION
BY *Ally*
DATE 12/19/98

GRAPHIC SCALE



(13.12')
4.000m
(22.97')
7.000m

N60°08'45"W 39.552m (129.76')
TRAIL ESMT.
N28°33'01"E
8.941m (29.35')
S64°00'45"E
12.895m (42.31')

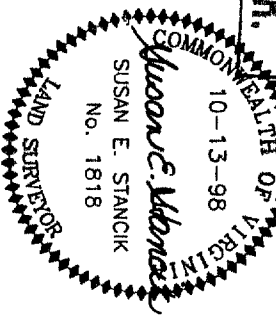
ESMT TO PROHIBIT
PLANTING ON DAM

STORM DRAIN ESMT.
S40°53'21"W
20.000m (65.62')

CENTREVILLE ROAD ROUTE 28
(VARIABLE WIDTH)

THIS APPROVAL IS NOT A
COMMITMENT TO PROVIDE
PUBLIC SANITARY SEWER.

By *M. Allen* Date 11-25-98
12-18-98



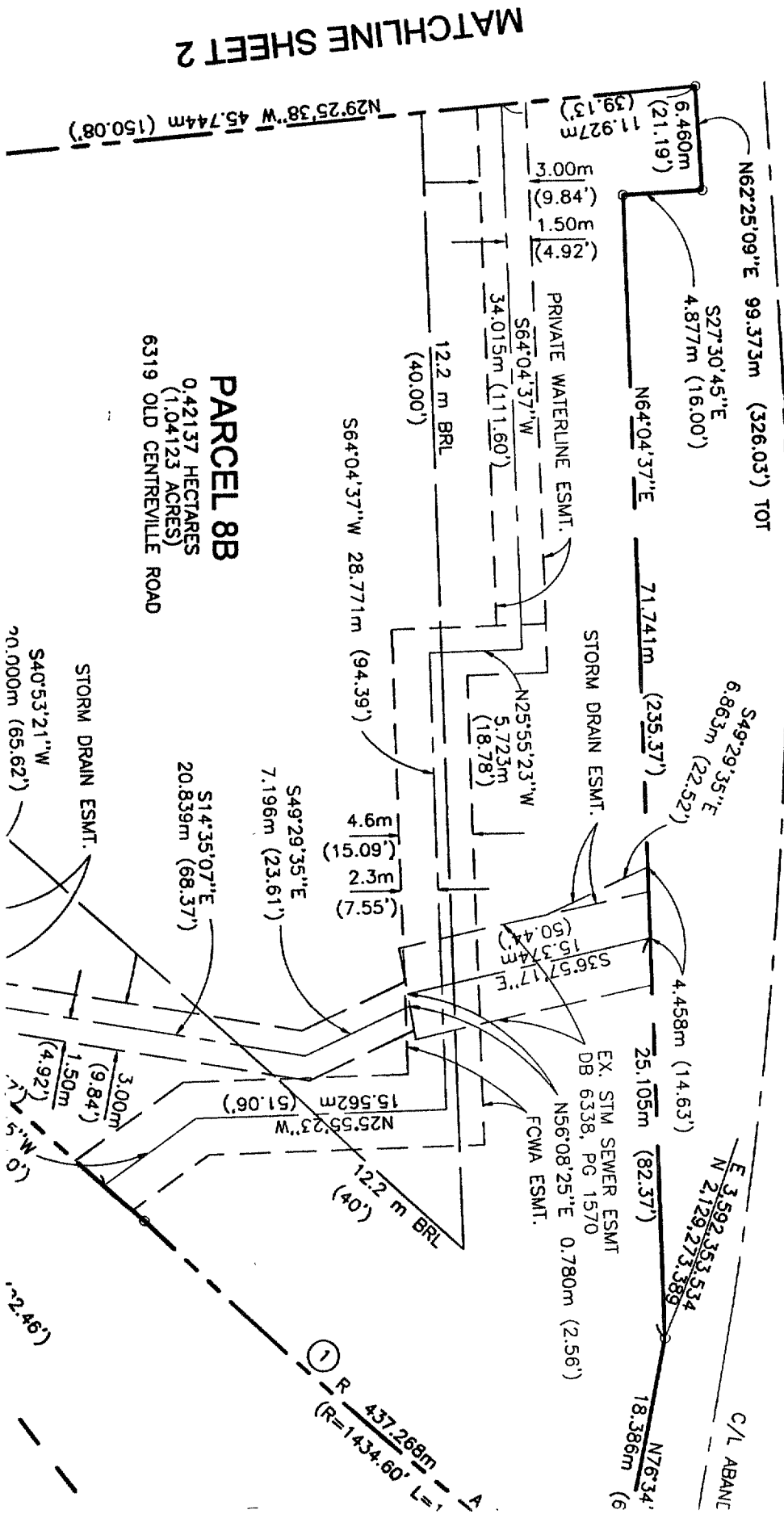
12/19/98	BY <i>[Signature]</i>	RECOMMENDED FOR APPROVAL FAIRFAX COUNTY SITE REVIEW BRANCH CHIEF
DATE	AGENT	
12-10-98	BY <i>[Signature]</i>	APPROVED FOR BOARD OF SUPERVISORS FAIRFAX COUNTY, VIRGINIA
DATE	Director, Public Works & Environment or Agent	
APPROVAL VOID IF PLAT IS NOT OFFERED FOR RECORD ON BEFORE		

BK 10701 0556

CURVE DATA

NO.	RADIUS	DELTA	ARC	TANGENT	CHORD	CHORD BEARING
①	437.268	05°03'02"	38.544m	19.285	38.532	S 17°27'20" W

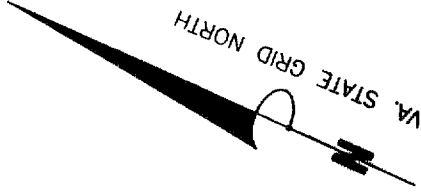
OLD CENTREVILLE ROAD ROUTE 657
 (VARIABLE WIDTH)



① R 437.268m
 (R=1434.60' L=)

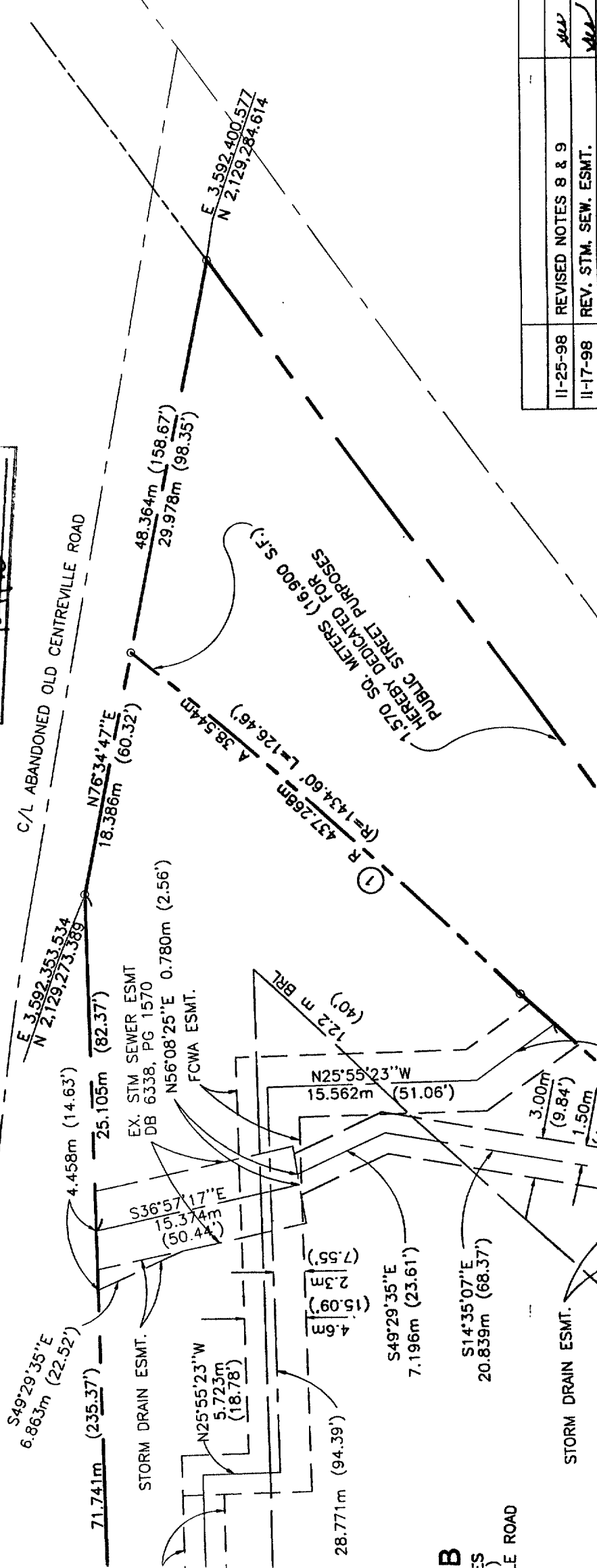
CHORD CHORD BEARING
38.532 S 17°27'20" W

ROAD ROUTE 657
WIDTH)



APPROVED
COUNTY OF FAIRFAX
OFFICE OF SITE DEVELOPMENT SERVICES
SANITARY SEWER SECTION

BY: *[Signature]*
DATE: 11/24/98



11-25-98	REVISED NOTES 8 & 9	<i>[Signature]</i>
11-17-98	REV. STM. SEW. ESMT.	<i>[Signature]</i>

B ES E ROAD

1,570 SQ. METERS (16,980 SQ. FT.) HEREBY DEDICATED FOR PUBLIC STREET PURPOSES

① R 437.26 (1,434.60' L)

12.2 m (40')

N25°55'23"W 15.562m (51.06')

S49°29'35"E 1.96m (6.43')

S14°35'07"E .839m (2.75')

ESMT. 3.00m (9.84')

1.50m (4.92')

7.10m (23.30')

21.814m (71.57')

3.724m (12.22')

3.115m (10.22')

2.509m (8.23')

S29°51'15"W 1.865m (6.118')

1.865m (6.118')

1.865m (6.118')

1.865m (6.118')

1.865m (6.118')

1.865m (6.118')

1.865m (6.118')

1.865m (6.118')

1.865m (6.118')

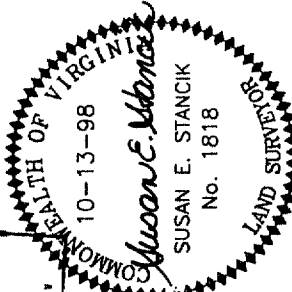
FINAL PLAT
RECOMMENDED FOR APPROVAL
FAIRFAX COUNTY
SITE REVIEW BRANCH CHIEF

12/19/98 BY *[Signature]* AGENT
DATE

APPROVED
FOR
BOARD OF SUPERVISORS
FAIRFAX COUNTY, VIRGINIA

12/20/98 BY *[Signature]*
DATE
Director, Public Works & Environmental Services
or Agent

APPROVAL VOID IF PLAT IS NOT OFFERED FOR RECORD ON OR BEFORE _____



ENTREVILLE ROAD ROUTE 28
(VARIABLE WIDTH)

THIS APPROVAL IS NOT A COMMITMENT TO PROVIDE PUBLIC SANITARY SEWER.

DATE	DESCRIPTION	BY
11-25-98	REVISED NOTES 8 & 9	<i>[Signature]</i>
11-17-98	REV. STM. SEW. ESMT.	<i>[Signature]</i>
11/16/98	STM.& CONSERVATION ESMT. REV	<i>[Signature]</i>
11-6-98	ADD DB & PG TO STM. ESMT.	<i>[Signature]</i>
11-2-98	COUNTY COMMENTS	<i>[Signature]</i>

REVISIONS

PLAT SHOWING
A DIVISION OF

**MILDRED K. DEBELL
TRUSTEE PROPERTY**

DEED BOOK 9246, PAGE 1636
SULLY DISTRICT
FAIRFAX COUNTY, VIRGINIA
SCALE: 1 : 300 OCTOBER 13, 1998

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DULLES, LEESBURG, WOODBRIDGE, VIRGINIA BEACH & RICHMOND, VIRGINIA
ROCKVILLE, MARYLAND

By *[Signature]* Date 11-25-98
11-25-98



MEMORANDUM

DATE: October 11, 2024

TO: Suzanne Wright, Director
Zoning Evaluation Division, DPD

FROM: Kelly M. Atkinson, AICP, Director
Planning Division, DPD

SUBJECT: Comprehensive Plan Land Use and Environmental Analysis:
SP 2022-SU-00144, Mision Evangelica Jerusalem LA Celestial Inc.

The memorandum, prepared by Sophia Fisher, includes citations from the Comprehensive Plan (“Plan”) that provide guidance for the evaluation of the above referenced Special Permit application and Special Permit (SP) Plat, dated October 10, 2023, as revised through August 14, 2024. The extent to which the application conforms to the applicable guidance contained in the Comprehensive Plan is noted. Possible solutions to remedy identified issues are suggested. Other solutions may be acceptable, provided they achieve the desired degree of mitigation and are in conformance with Plan policies.

DESCRIPTION OF THE APPLICATION

The applicant, Maria I. Vasquez on behalf of Mision Evangelica Jerusalem LA Celestial Inc., requests a Special Permit to permit the construction of a new religious assembly use (place of worship). The proposed sanctuary would accommodate 200 seats, and the parking area would have 50 parking spaces. The building would be approximately 6,974 square feet with a FAR of 0.143. The proposed height for the building would be approximately 27 feet with a steeple that reaches approximately 50 feet. The building access and frontage would be from Old Centreville Road. The proposed building would be located close to the eastern edge of the property, with parking to the west and north. The existing historic dwelling on the property will be removed.

The primary use of the building will be Sunday services between 9:00 a.m. and 1:30 p.m. The Applicant is not proposing to operate a private school or childcare center.



LOCATION AND CHARACTER OF THE AREA

The subject property is comprised of one parcel totaling approximately 1.1 acres and is located on Tax Map Parcel 65-1 ((01)) 8C. There is a small outlot to the south of the subject property, Tax Map Parcel 65-1 ((01)) 8A1, that is approximately 0.19 acres. It is under the same ownership and under a conservation easement, but not currently part of the subject application. The subject property is in Land Unit D-4 of the Centreville Area and Suburban Center, which is planned for a mix of residential uses with extensive pedestrian connections provided between uses within the sub-unit. The site is zoned Residential, 1 dwelling unit/acre (R-1) and is located in the Water Supply Protection Overlay District (WSPOD). It is accessed from Old Centreville Road, which terminates just to the northeast of the site at the Centreville United Methodist Church Park & Ride facility.

All adjacent parcels to the subject property are planned at a density of 5-8 du/ac. The property directly to the north is another place of worship and is zoned to the Planned Development Housing, 12 dwelling units/acre District (PDH-12). Directly to the west is a parcel that is also zoned to the R-1 District and used by the place of worship to the north for recreational activities. Directly to the east is a childcare center zoned to the R-1 District.

LAND USE ANALYSIS

Use and Intensity

Religious assembly is allowed in the R-1 zone with approval of a Special Permit provided the use is in harmony with the Comprehensive Plan. The Comprehensive Plan map identifies the subject property as appropriate for residential use at 5-8 du/ac. There are no site-specific Plan recommendations for the property. Infill development should be of a compatible use, type, and density and in accordance with the guidance provided by the Policy Plan under Land Use Objectives 12 and 14.

The proposed FAR of 0.143 is below the maximum of 0.15 FAR for uses other than residential or public in the R-1 District. The adjacent church and childcare uses have a slightly higher FAR (0.225 for the church and 0.18 for the childcare). The neighboring church has approximately 50% open space and the childcare has approximately 41%. The open space proposed with this application is approximately 41%. The FAR and open space proposed with this application are generally consistent with the existing uses.

The applicant has reduced the overall number of seats from 220 to 200 and has also reduced the number of parking spaces to 50 which meets the Zoning Ordinance requirement of 1 parking space to 4 seats in the sanctuary that was in effect at the time the application was submitted. The current Zoning Ordinance requirement is 1 space per 3 seats, however, they are able to calculate their parking using the prior requirements since the application was submitted prior to the new parking requirements going into effect. The proposed development would increase the extent of impervious area on site and result in a reduction in tree preservation.

While the proposed intensity is at the high end of the allowable range, it is of a similar intensity to the adjacent childcare center and place of worship.

The applicant has indicated that the primary use of the proposed place of worship will be Sunday mornings and that special events will occur during the typical hours of operation. Staff has requested that the applicant clarify the types of special events, anticipated attendees, and how parking would be handled. This is an outstanding issue.

Site Design and Compatibility

The applicant has proposed a rectangular-shaped building with the height reaching 27'. There would be a single steeple at the front of the building that would reach approximately 50'. One main entrance is designed to be at the front of the building which will face some of the parking areas and Old Centreville Road. Another smaller side entrance door is located on the western side of the building. The place of worship across Old Centreville Road has a sanctuary height of approximately 62', with the remaining building portions approximately 30' in height. The day-care center use on the adjacent property has a single-story building that is approximately 28' tall. The proposed building height would be similar to the surrounding uses, other than the original sanctuary of the adjacent place of worship across the street.

The original site layout had the proposed building in the middle of the site, with parking on all four sides of the building. With the current submission, the site has been significantly redesigned and the building has been shifted to the northeast. All parking is now to the side and the front of the building, and the applicant has reduced the number of vehicular access points from two to one. This redesign allows for greater tree preservation, additional landscaping, more open space, and less impervious surface over the entire site. The applicant is also providing a 5 foot wide sidewalk across the site's frontage on Old Centreville Road. There is a transitional screening requirement on the southeastern side of the property that the applicant is not currently meeting, which is discussed in more detail below. Staff requests that the applicant submit a landscape plan that meets the transitional screening requirement or a justification for modifying the requirement. This is an outstanding issue.

Architecture

The applicant has included the front elevation in the SP plat but has not included other elevations. The elevation indicates that the façade will be brick but does not indicate the color of the proposed brick. Staff recommends that the applicant include additional information about the proposed colors and materials on the SP plat along with the side and rear elevations to ensure the provision of high-quality materials and design. This is an outstanding issue. Staff has also proposed a draft condition related to architecture. With acceptance of this condition and the provision of additional information, this issue is addressed.

ENVIRONMENTAL ANALYSIS

This section characterizes the environmental concerns raised by an evaluation of this site and the proposed land use. Particular emphasis is given to opportunities provided by this application to conserve the County's remaining natural amenities. Analysis for this application addresses the overall special permit for the subject property.

Soils

New development should either avoid problem soil areas or implement appropriate engineering measures to protect existing and new structures from unstable soils (*Fairfax County Comprehensive Plan, 2017 Edition, Policy Plan, Environment, Amended through 6-28-2022*). A portion of the site contains Soil Map Unit #34 (Dulles) and # 94 (Sycoline-Kelly Complex) which are both class III soils. Both soil types are undisturbed natural soils that have characteristics such as high shrink/swell potential, landslide susceptibility, high compressibility, low bearing strength, and shallow water tables, which may result in poor drainage, building settlement, unstable slopes, etc. Geotechnical problems must be addressed with adequate engineering evaluations and designs prior to development.

A geotechnical report, prepared according to the geotechnical guidelines of PFM Chapter 4 and the Virginia Uniform Statewide Building Code (USBC) is mandatory for all construction and grading within these problem soil areas. The engineering evaluation and report shall be submitted for approval and the recommendations incorporated into the grading plans as requirements prior to plan approval. Construction inspections and certifications are required from the engineer of record. (*Description & Interpretive Guide to Soils in Fairfax County, Page 15*).

Specifically, for the Sycoline-Kelly Complex soil type, this soil complex occurs on moderately sloping uplands of the Triassic Basin over hornfels and diabase bedrock. In places, a thick layer of plastic clay occurs in the subsoil over bedrock. Depth to bedrock ranges between 2 and 5 feet. A perched seasonal high water table can form on top of the plastic clay and shallow bedrock can be found between ½ and 2½ feet below the surface. Permeability, especially where clays are present, is slow. Foundation support is poor because of the perched water table and plastic clays. Foundation footers should be anchored below the clay layer in bedrock. Foundation drains are necessary to avoid wet basements. Surface grading and subsurface drains may be necessary to eliminate wet yards. Suitability for septic drainfields and infiltration trenches is poor because of the water table, slow permeability and shallow bedrock.

Staff had requested that the applicant submit a geotechnical report prepared using the guidelines of Chapter 4 of the Public Facilities Manual (PFM) during the SP review phase of this application. The applicant has not provided this but has agreed to a condition of approval that will require that the report be submitted at the time of site plan. Staff remains concerned about whether the soil will provide adequate foundation support and further notes that the high water table could impact the amount that the proposed bioretention facility can handle. These factors should be taken into consideration during the design process. This is an outstanding issue.

Water Resources

A major planning goal of the Bull Run Planning District is to protect the Occoquan Reservoir. Per Comprehensive Plan text for the Bull Run Planning District, the primary planning objectives are to:

- Protect the Occoquan Reservoir watershed;
- Establish Centreville as a focus of development in western Fairfax County;
- Ensure that Centreville develops geographically and characteristically distinct from the Fairfax Center Area by maintaining a low density transition area between the Fairfax Center and Centreville development centers; and
- Identify, preserve and promote awareness of heritage resources through research, survey and community involvement.

To ensure that water quality and water quantity are appropriately managed, the Environment element of the Policy Plan promotes site design and low impact development (LID) techniques that reduce stormwater runoff volumes and peak flows; increase groundwater recharge; and increase the preservation of undisturbed areas. Developments are expected to optimize stormwater management and water quality controls through the use of innovative Best Management Practices and infiltration techniques, nonstructural Best Management Practices and bioengineering practices, and infiltration landscaping. (*Fairfax County Comprehensive Plan, 2017 Edition, Policy Plan, Environment, Amended through 6-28-2022*)

The subject property is also located within the Cub Run watershed and the Water Supply Protection Overlay District (WSPOD) where additional water quality control measures are required. Specifically, the projected post-developed phosphorous pollutant load shall be reduced by at least 50% (PFM 6-0401.2). Offsite nutrient credit should not be used toward meeting the on-site water quality credit control requirements measures for WSPOD. Instead, the applicant should review the Bull Run Planning District Overview plan language that references using regional stormwater ponds for stormwater management and determine the feasibility of a regional stormwater management pond (*Fairfax County Comprehensive Plan, 2017 Edition, Area III, Bull Run Planning District, Amended through 2-23-2021, Overview*).

The subject property currently has 14% impervious surface, and the proposed development increases that to just over 58%. Previous submissions proposed an underground detention to address water quantity requirements and the purchase of offsite nutrient credits to address the majority of the water quality requirements. The applicant has revised their approach to stormwater management and now proposes a bioretention facility that will provide both quality and quantity for the entire site, including exceeding the WSPOD standards for 50% phosphorous reduction, and no longer proposes the purchase of nutrient credits. As noted above, staff remains concerned that the high water table could impact the amount that the proposed bioretention facility can handle and the applicant should confirm the functionality of the facility. This is an outstanding issue. The applicant should retain the use of LIDs with any final design. Once treated, runoff from the proposed facility will flow to the southwest and into a closed storm sewer system and flow to the west towards an existing county-maintained detention basin (0844 DP). Staff has proposed draft conditions; with the acceptance of the conditions and additional information, this issue will be addressed.

Staff defers to SDID for additional comments.

Forest Resources

The Environment element of the Policy Plan encourages conservation and restoration of tree cover on developed and developing sites. The maximum amount of tree cover should be provided on developed and developing sites consistent with planned land use and good silvicultural practices. The provision of trees also supports improvements to air quality and stormwater management. For new development, the Policy further encourages minimizing the application of fertilizers, pesticides, and herbicides to lawns and landscaped areas through, among other tools, the development, implementation and monitoring of integrated pest, vegetation, and nutrient management plans. Good quality vegetation should be preserved and enhanced and lost vegetation restored through replanting.

Existing vegetation on the site, shown on Sheet 4 of the special permit plat, consists of 0.70 acres of grassland turf and 0.28 acres of tree canopy in fair to good condition. Sheet 5 provides the preliminary landscape plan. The applicant is providing just under 1,600 square feet of tree preservation, which does not meet the tree preservation target. The applicant has requested a deviation from the tree preservation target and is proposing to meet the ten-year tree canopy requirements through additional planting. Staff recommends that the applicant continue to seek ways to increase the amount of tree preservation on the site as the design continues to be refined.

There is a transitional screening requirement on the southeastern property border adjacent to the outlot, and the applicant has proposed to use the outlot plantings to meet the transitional screening requirement. Staff notes that if the outlot is to be used for transitional screening, it should be included in the SP area. The outlot is subject to a conservation easement that requires it to be kept in a forested condition. However, the outlot has been clear cut and therefore is not in conformance with the conditions of the easement. The applicant has included a reforestation plan for the outlot. The Forest Conservation Branch of Land Development Services (FCON) has determined that the proposed replanting plan is insufficient. FCON has also advised the applicant that the plantings proposed for the reforestation plan do not meet the transitional screening requirements and recommends that the applicant either provide the required transitional screening plantings or request a modification. Due to the presence of Centreville Road and the distance from the existing single-family residences, a modification to the transitional screening requirement could be appropriate in this location, especially if the outlot is replanted to FCON's specifications. This is an outstanding issue.

The applicant has agreed to staff conditions related to natural and native landscaping, soil remediation for planting, and the use of a certified landscape professional during all critical construction phases. With acceptance of these conditions, these issues have been addressed.

Final determination on the adequacy of tree preservation and landscaping practices will be made by FCON.

Green Building

The Environment element of the Policy Plan encourages “Design and construct buildings and associated landscapes to use energy and water resources efficiently and to minimize short- and long-term negative impacts on the environment and building occupants.” (*Fairfax County Comprehensive Plan, Policy Plan, 2017 Edition, Policy Plan, Environment*). The Comprehensive Plan recommends ensuring that new development and redevelopment within Suburban Centers attain formal third-party green building certification through LEED or an equivalent program. Additionally, the Comprehensive Plan recommends ensuring that new non-residential development be certified through an established third-party green building rating system. The applicant has agreed to a condition committing to green building certification; this issue has been resolved.

Fairfax County encourages the “provision of or readiness for charging stations and related infrastructure for electric vehicles within new development and redevelopment proposals, particularly for residential where other opportunities are not available.” (*Fairfax County Comprehensive Plan, 2017 Edition, Policy Plan, Environment, Amended through 6-28-2022*). Staff encouraged the applicant to consider adding universal, Level 2 EV charging stations for at least 2% of the number of parking spaces and provide designated EV parking spaces. The applicant has shown two EV charging stations on the SP plat and has agreed to a condition committing to providing the EV charging stations; this issue has been addressed.

Lighting

The Environment element of the Policy Plan recognizes the nuisance aspects of unfocused light emissions and recommends that “*care be taken to reduce unfocused emissions of light and that efforts be made to avoid creating sources of glare.*” A Plan objective is to “[m]inimize light emissions to those necessary and consistent with general safety.” (*Fairfax County Comprehensive Plan, 2017 Edition, Policy Plan, Environment, Amended through 6-28-2022 Page 12*). The site is in a residential area, which is considered to be a light sensitive use.

The proposed church is in a residential area, which is considered to be a light sensitive use. The applicant has agreed to a condition requiring that they will submit a photometric plan at the time of the first site plan submission and outdoor lighting will be full cutoff and use energy saving technology. This issue has been resolved.

CONCLUSION AND RECOMMENDATIONS

To more fully meet Plan guidance, staff recommends the applicant address the following items:

- Provide a landscape plan that meets the transitional screening requirement or a justification for modifying the requirement.
- Provide additional detail about the proposed architectural design and materials for the building, including side and rear elevations.

- Provide additional detail about how problem soils will be mitigated during construction and confirm that the soils can support the foundation for the proposed building.
- Confirm that the proposed bioretention facility will provide the required water quality and quantity controls even if the water table is higher than expected.
- Continue to seek ways to increase the amount of tree preservation on the site.
- Accept staff's proposed development conditions.

KMA:SSF

Comprehensive Plan Citations

Fairfax County Comprehensive Plan, 2017 Edition, Area III, Bull Run Planning District, Amended through 2-23-2021, Overview, page 7.

Environment

The Bull Run Planning District contains some of the most extensive remaining wildlife habitat and rural landscape that remains in Fairfax County. Past actions taken to protect water quality in the Occoquan Reservoir by restricting development to very low densities will help to perpetuate this character.

The area near the southern edge of Dulles Airport is heavily impacted by aircraft noise. The impacted areas are designated on the Plan map and are addressed with an overlay district in the Zoning Ordinance. Residential development is not recommended where such development would be inconsistent with Environmental Objective 4 of the Policy Plan.

Land use controls have been used throughout this district to maintain high water quality standards. Low densities, limited expansion of public facilities, and development designs that encourage preservation of water features and other sensitive lands will contribute to water quality protection.

A land use approach to maintaining water quality should be continued and broadened throughout the district. The following guidelines are suggested to achieve this objective:

- Maintain very low density development in the portions of the District that drain into the Occoquan Reservoir and are outside of designated growth centers;
- Provide for the regional stormwater management ponds according to the Regional Stormwater Management Plan. Discourage the use of on-site stormwater management techniques in lieu of a regional alternative. In headwaters areas with suitable soils, infiltration techniques may be appropriate; and
- Encourage cluster development at planned densities.

Other concerns in the Bull Run Planning District include the location of major pipelines and utility lines, businesses that handle hazardous materials, flood impact areas, and problem soils. Land use proposals should adequately address environmental hazards.

The Bull Run Planning District remains one of the largest areas of wildlife habitat in the county. Unlike other areas, the possibility exists for this District to support an ecosystem that would include carnivores that need a large range to survive. Low density zoning goes far in maintaining this habitat, however, more controls may become necessary as the rest of the county continues to accommodate more people. EQC boundaries should be selected not only to protect water quality, but also for the preservation of valuable habitat.

Fairfax County Comprehensive Plan, 2017 Edition, Area III, Bull Run Planning District, Amended through 2-23-2021, Centreville Area and Suburban Center, pages 21-31.

CHARACTER

The Centreville Area contains approximately 2,700 acres in the southwestern portion of the county where Sully and Centreville Roads (Route 28), Lee Highway (Route 29), Interstate 66 (I-66) and Braddock Road converge. The majority of the development in the area is residential and has been constructed since 1970. The pace of development in this area increased dramatically during the early 1980s as builders began to fully exploit the excellent access the area has to several major roadways. The rapid pace of development was mainly residential but the growth of residential options has been matched by an increase in the employment opportunities in and adjacent to the Centreville Area. A full spectrum of retail and commercial services has followed the residential development.

The Centreville Area was the subject of a special study initiated at the direction of the Board of Supervisors. The area was divided into land units and detailed recommendations were prepared after extensive study and citizen participation. The recommendations were adopted by the Board of Supervisors in March, 1986; with some revision, these recommendations are still valid.

The land use recommendations that follow are presented by specific land unit. Recommendations for environment, public facilities, and parks and recreation are provided as part of the text for the Bull Run Planning District and Sectors BR3 and BR6.

CONCEPT FOR FUTURE DEVELOPMENT

The Concept for Future Development recommends that a portion of the Centreville Area be designated as a Suburban Center. The Suburban Center portion is comprised of the following land units: B-2; B-5; B-6; C-1; C-2; C-3; C-6; C-7; C-8; D-1 through D-7; and E. This area generally includes those land units planned for commercial, mixed-use, and high density residential uses.

Within the Centreville Suburban Center, a suburban core area is designated. The core contains a mix of uses similar to that found in the overall Suburban Center; however, a higher density/intensity use is encouraged in order to shape a distinct community identity and to encourage the concentration of employment to facilitate access by transit services. The core is planned to be located in the area generally south of I-66, west of Sully Road and north of Lee Highway in the area designated as Land Unit E.

The portions of the Centreville Area outside the Suburban Center are recommended as Suburban Neighborhoods reflecting their residential character. Although these residential areas vary in recommended density, collectively they act as a transition between the higher intensities and densities in the Centreville Suburban Center and the higher intensities planned in the Fairfax Center Area and to the areas planned for very low density residential development in the far western portions of the county.

...

“D-4 (177 Acres) Suburban Center

Land Unit D-4 is planned for a mix of residential densities and unit types as shown on the Comprehensive Land Use Plan Map. Density in this land unit should not exceed an average of 12 dwelling units per acre. Lower densities should be located near existing residential development and higher densities located near commercial areas. Extensive pedestrian connections between uses within this sub-unit should be provided. (*Fairfax County Comprehensive Plan, 2017 Edition, Area III, Bull Run Planning District, Centreville Area and Suburban Center, pages 31*)

FAIRFAX COUNTY COMPREHENSIVE PLAN, 2017 Edition, POLICY PLAN Land Use, Amended through 6-28-2022

LAND USE INTENSITY

The intensity of land use has a direct effect on the ability to provide adequate levels of service for transportation and public facility systems. The Comprehensive Plan is the primary mechanism available to the county for establishing appropriate locations for various levels of land use intensity. Through this mechanism, development is encouraged to occur in accord with the Plan, at intensities that can assist in achieving various County goals. For instance, high intensity uses will be located in areas of the county where the transportation and public facilities systems can best accommodate the demands from such uses, thereby efficiently using county resources.

Objective 12: The location and level of development intensity should be utilized as a means of achieving a broad range of county goals.

...
Policy d: Locate development intensity in a manner which assists in achieving appropriate community character.

Objective 14: Fairfax County should seek to achieve a harmonious and attractive development pattern which minimizes undesirable visual, auditory, environmental and other impacts created by potentially incompatible uses.

Policy a. Locate land uses in accordance with the adopted guidelines contained in the Land Use Appendix.

Policy b. Encourage infill development in established areas that is compatible with existing and/or planned land use and that is at a compatible scale with the surrounding area and that can be supported by adequate public facilities and transportation systems.

Policy c. Achieve compatible transitions between adjoining land uses through the control of height and the use of appropriate buffering and screening.

...
Policy f. Utilize urban design principles to increase compatibility among adjoining uses.

Policy h. Utilize landscaping and open space along rights of way to minimize the impacts of incompatible land uses separated by roadways.

Policy l: Regulate the amount of noise and light produced by nonresidential land uses to minimize impacts on nearby residential properties.

Fairfax County Comprehensive Plan, 2017 Edition, Policy Plan, Environment, Amended through 6-28-2022:

Objective 1: Preserve and improve air quality.

Policy c. Support air quality improvement through tree preservation, tree planting and sensitive landscaping practices. Support and encourage the following during the reviews of development proposals:

- Maximization of tree planting/tree cover restoration consistent with planned land use and good silvicultural practices.
- Pursuit of energy-conscious landscaping efforts such as the planting of trees to provide shading of buildings during the summer months.
- Preservation and/or planting of trees to shade parking lots, thereby reducing heating of parked vehicles and associated evaporative emissions.
- Planting of street trees within road medians and along thoroughfares where consistent with safety.
- Pursuit of landscaping practices that optimize the planting of native species of trees, shrubs and other vegetation in a manner that minimizes the need for mowing and other maintenance activities, particularly during the hotter months of the year.
- Minimization of applications of pesticides with reactive VOC content through integrated pest management approaches to pest control.

Policy d. Support energy conservation, minimization of indoor air pollution and other green building practices consistent with Objective 13 of this section of the Policy Plan.

Policy f. Support the use of low-emissions maintenance and landscaping equipment.

Fairfax County Comprehensive Plan, 2017 Edition, Policy Plan, Environment, Amended through 6-28-2022:

Objective 2: Prevent and reduce pollution of surface and groundwater resources. Protect and restore the ecological integrity of streams in Fairfax County.

Policy c. Minimize the application of fertilizers, pesticides, and herbicides to lawns and landscaped areas through, among other tools, the development, implementation and monitoring of integrated pest, vegetation and nutrient management plans.

... Policy f. Where practical and feasible, retrofit older stormwater management facilities to perform water quality functions to better protect downstream areas from degradation.

... Policy k. For new development and redevelopment, apply better site design and low impact development (LID) techniques such as those described below, and pursue commitments to reduce stormwater runoff volumes and peak flows, to increase groundwater recharge, and to increase preservation of undisturbed areas. In order to minimize the impacts that new development and redevelopment projects may have on the county's streams, some or all of the following practices should be considered where not in conflict with land use compatibility objectives:

- Minimize the amount of impervious surface created.
- Site buildings to minimize impervious cover associated with driveways and parking areas and to encourage tree preservation.
- Where feasible, convey drainage from impervious areas into pervious areas.
- Encourage cluster development when designed to maximize protection of ecologically valuable land.
- Encourage fulfillment of tree cover requirements through tree preservation instead of replanting where existing tree cover permits. Commit to tree preservation thresholds that exceed the minimum Zoning Ordinance requirements.
- Encourage the use of innovative BMPs and infiltration techniques of stormwater management where site conditions are appropriate, if consistent with county requirements.
- Apply nonstructural best management practices and bioengineering practices where site conditions are appropriate, if consistent with county requirements.
- Encourage shared parking between adjacent land uses where permitted.
- Where feasible and appropriate, encourage the use of pervious parking surfaces in low-use parking areas.
- Maximize the use of infiltration landscaping within streetscapes consistent with county and state requirements.

Fairfax County Comprehensive Plan, 2017 Edition, Policy Plan, Environment, Amended through 6-28-2022:

Light Pollution

Objective 5: Minimize light emissions to those necessary and consistent with general safety.

Policy a. Recognize the nuisance aspects of unfocused light emissions.

Fairfax County Comprehensive Plan, 2017 Edition, Policy Plan, Environment, Amended through 6-28-2022:

Environmental Resources

Objective 10: Conserve and restore tree cover on developed and developing sites. Provide tree cover on sites where it is absent prior to development.

Policy a: Protect or restore the maximum amount of tree cover on developed and developing sites consistent with planned land use and good silvicultural practices.

Fairfax County Comprehensive Plan, 2017 Edition, Policy Plan, Environment, Amended through 6-28-2022:

Resource Conservation and Green Building Practices

Objective 13: Design and construct buildings and associated landscapes to use energy and water resources efficiently and to minimize short- and long-term negative impacts on the environment and building occupants.

Policy a. In consideration of other Policy Plan objectives, encourage the application of energy conservation, water conservation and other green building practices in the design and construction of new development and redevelopment projects...
Encourage commitments to implementation of green building practices through certification under established green building rating systems for individual buildings (e.g., the U.S. Green Building Council's Leadership in Energy and Environmental Design for New Construction [LEED-NC[®]] or the U.S. Green Building Council's Leadership in Energy and Environmental Design for Core and Shell [LEED-CS[®]] program or other equivalent programs with third party certification). An equivalent program is one that is independent, third-party verified, and has regional or national recognition or one that otherwise includes multiple green building concepts and overall levels of green building performance that are at least similar in scope to the applicable LEED rating system. Encourage commitments to the attainment of the ENERGY STAR[®] rating where available. Encourage certification of new homes through an established residential green building rating system that incorporates multiple green building concepts and has a level of energy performance that is comparable to or exceeds ENERGY STAR qualification for homes. Encourage the inclusion of professionals with green building accreditation on development teams. Encourage commitments to the provision of information to owners of buildings with green building/energy efficiency measures that identifies both the benefits of these measures and their associated maintenance needs.

Policy b. Within the Tysons Urban Center, Suburban Centers, Community Business Centers, Industrial Areas and Transit Station Areas as identified on the

Concept Map for Future Development, unless otherwise recommended in the applicable area plan, where these zoning proposals seek at least one of the following:

- Development in accordance with Comprehensive Plan Options;
- Development involving a change in use from what would be allowed as a permitted use under existing zoning;
- Development at the Overlay Level; or
- Development at the high end of planned density/intensity ranges. For nonresidential development, consider the upper 40% of the range between by-right development potential and the maximum Plan intensity to constitute the high end of the range.

Ensure that zoning proposals for nonresidential development or zoning proposals for multifamily residential development incorporate green building practices sufficient to attain certification through the LEED-NC or LEED-CS program or an equivalent program specifically incorporating multiple green building concepts, where applicable, and encourage an emphasis on energy efficiency and conservation.

Where developments with exceptional intensity or density are proposed (e.g. at 90 percent or more of the maximum planned density or intensity), ensure that higher than basic levels of green building certification are attained.

Policy g. Encourage provision of or readiness for charging stations and related infrastructure for electric vehicles within new development and redevelopment proposals, particularly for residential where other opportunities are not available.



County of Fairfax, Virginia

MEMORANDUM

DATE: September 6, 2024

TO: Brandon McCadden, Staff Coordinator
Zoning Evaluations Division, DPD

FROM: Rachel Jackson-Roth, Urban Forester III
Forest Conservation Branch, DPWES

SUBJECT: Mision Evangelica Jerusalem LA Celestial
SP-2022-SU-00144

I have reviewed the Special Permit application and draft proffers for the above referenced project. The following comments and recommendations are based on this review.

1. **Comment:** The “Modification request to permit a deviation from requirements of the tree preservation target.” Is not accurate, a deviation to the tree preservation target is submitted at time of site plan and is not a modification.

Recommendation: The applicant should remove this under waiver/modification requests and submit the deviation at time of site plan.

2. **Comment:** The applicant has stated a waiver is not requested for the transitional screening, but the cover sheet states, “Waiver of transitional screening and barrier requirement adjacent to Centreville road (Section 5108.7 of Fairfax County Zoning Ordinance).”

Recommendation: The applicant should remove this note from the plan if a waiver is not being requested.

3. **Comment:** The applicant is proposing to utilize the reforestation plantings within the conservation easement to fulfill the transitional screening requirements. The proposed plantings for reforestation do not meet the requirements of plantings as required for transitional screening. This would require the request for a modification to the transitional screening.

Recommendation: The applicant should provide the required transitional screening or provide a modification.

4. **Comment:** The references in the proffers to UFMD should be updated to Forest Conservation Branch (FCON) the branch moved to LDS in 2023.



Mision Evangelica Jerusalem LA Celestial
SP-2022-SU-00144
September 6, 2024
Page 2 of 2

Recommendation: The applicant should update all references from UFMD to FCON.

RJR/

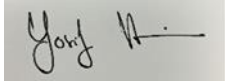


County of Fairfax, Virginia

MEMORANDUM

DATE: 09/06/2024

TO: Brandon McCadden, Staff Coordinator
Zoning Evaluation Division
Department of Planning and Development

FROM: Yosif A Ibrahim, P.E., 
Engineer IV, North Branch
Site Development and Inspections Division (SDID)
Department of Land Development Services (LDS)

SUBJECT: Special Permit Application No. SP-2022-SU-00144; Mision Evangelica La Celestial Hechos Church; 6321 Old Centerville Rd; Tax Map No 065-1-((01))-0008C; Sully District

The subject revised application has been reviewed and at this stage we don't have any further comments. Below is the summary of the stormwater management review.

Chesapeake Bay Preservation Ordinance (CBPO)

There is no Resource Protection Area (RPA) on the project property.

Floodplain

There is no regulated floodplain on the project property.

Downstream Drainage Complaints

There are no contemporary downstream drainage complaints on file.

Stormwater Quality

This project satisfies the water quality control requirements specified in Article 4 of the Stormwater Management and Erosion & Sediment Control Ordinance (Chapter 124.1) by incorporating an onsite Bio-filter facility. This facility is designed to manage runoff from 0.63 acres of impervious area, ensuring compliance with both standard water quality control standards and the Water Supply Overlay District requirements.

Stormwater Quantity - Detention



This project meets the stormwater detention requirements outlined in Article 4 of the Stormwater Management and Erosion & Sediment Control Ordinance (Chapter 124.1.4.4-D) by including an onsite Bio-filter facility. The facility is designed to capture and retain 2.56 inches of runoff from 0.50 acres of impervious area, ensuring compliance with the standard detention requirements for both 2-year and 10-year storms.

Stormwater Quantity - Outfalls

This project is required to implement water quantity controls for both the outfall channel and flood protection, in accordance with SWMO sections 124.1-1-6, 124.1-4-1, 124.1-4-4.B, and 124.1-4-4.C. As outlined in the Outfall Narrative, the site includes a single outfall that directs runoff from the 6-inch underdrain system of the Bio-filter into an existing storm drainage easement, featuring Riprap at the outfall. Channel and flood protection requirements are addressed by managing detention to ensure that post-developed peak flows are reduced to below pre-developed levels for both 2-year and 10-year storm events.

Watershed Management Plans

This site is located within the Little Rock Run Watershed. No stream restoration project is identified within the limit of adequate outfall analysis for the subject site. and/or adjacent to the project site.

Dam Breach

The project property is not located within a dam breach inundation zone.

Please contact me at 703-324-1720 or Yosif Ibrahim, if you have any questions or require additional information.

References:

- This zoning checklist ([Minimum Stormwater Information For Rezoning, Special Exception, Special Permit and Development Plan Applications](#)) should be included with the plan. This information is required under information is required under Zoning Ordinance subsection 8101.1.G. [3/13/06 - 06-06 Zoning Application Revised Checklist/Sheet Index](#)

Brandon McCadden, Staff Coordinator
Zoning Application No. SP-2022-SU-000144
Page 3 of 3

- [Rezoning Application Package - Conventional Zoning Districts \(fairfaxcounty.gov\)](#)
Application Information for Conventional Zoning Districts
- [Special Permit/Special Permit Amendment Application Information Package](#)
- [Rezoning Application Package - Planned Development Zoning Districts \(fairfaxcounty.gov\) \(fairfaxcounty.gov\)](#)

From: [Faghri, Arsalan \(VDOT\)](#)
To: [Mccadden, Brandon](#)
Subject: RE: Action Required - Third Submission for SP 2022-SU-00144 (Mision Evangelica)
Date: Tuesday, September 24, 2024 11:03:02 AM
Attachments: [image001.png](#)

Brandon,

They've addressed all our comments. I don't have any more comment. I cannot change to "No Comments" on PLUS.

Alex



Alex Faghri Ph.D., P.E.

Land Development Section

Virginia Department of Transportation

703-259-2414

Arsalan.faghri@vdot.virginia.gov

From: Mccadden, Brandon <Brandon.McCadden@fairfaxcounty.gov>

Sent: Tuesday, September 24, 2024 10:41 AM

To: Faghri, Arsalan (VDOT) <arsalan.faghri@vdot.virginia.gov>

Subject: RE: Action Required - Third Submission for SP 2022-SU-00144 (Mision Evangelica)

Hi Alex,

To follow up on our earlier conversation, can you provide a list of the outstanding issues that you identified with the resubmission of this special permit application? I will be presenting this application at Thursday morning's staffing meeting and would like to include your comments in the discussion. Thanks.

Regards,

Brandon McCadden, AICP
Staff Coordinator (Planner III)

From: [Steinhilber, Will](#)
To: [Mccadden, Brandon](#)
Subject: RE: Action Required - Third Submission for SP 2022-SU-00144 (Mision Evangelica)
Date: Monday, September 23, 2024 9:55:18 AM

Hi Brandon,

FCDOT has no outstanding issues. I'll be there for staffing if needed.

Thanks,
Will

Will Steinhilber
Fairfax County Department of Transportation
4000 Legato Road, Suite 400
Fairfax, VA 22033
Office: 703-877-5783

From: Mccadden, Brandon <Brandon.McCadden@fairfaxcounty.gov>
Sent: Friday, September 20, 2024 12:20 PM
To: Faghri, Arsalan (VDOT) <arsalan.faghri@vdot.virginia.gov>; Steinhilber, Will <August.Steinhilber@fairfaxcounty.gov>; Fisher, Sophia <Sophia.Fisher@fairfaxcounty.gov>
Subject: RE: Action Required - Third Submission for SP 2022-SU-00144 (Mision Evangelica)

Hi,

I'm following up on the status of your review comments for SP 2022-SU-00144 with a deadline of Friday, September 6th. I will be staffing this application on Thursday, September 26th and need time to incorporate your review comments into my presentation. Please provide comments or contact me by Monday so that all outstanding issues are identified and available for discussion during staffing. Thanks.

Regards,

Brandon McCadden, AICP
Staff Coordinator (Planner III)

Zoning Evaluation Division
Department of Planning and Development
Fairfax County
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035

Bishesh Shrestha

From: Tatum, Matthew <Matthew.Tatum@fairfaxcounty.gov>
Sent: Thursday, September 15, 2022 4:15 PM
To: Bishesh Shrestha
Cc: O'dell, Laura; Guthrie, Michelle; Dreyfuss, Marc; Fuller, Gregory; Garcia, Michael W; Krasner, Brent M.; Lewis, Catherine E.; Nixon, Brittany; Aamodt, Nina; O'Donnell, William; Wright, Suzanne L.; Tsai, Mary Ann; Ko, Jeremy
Subject: RE: SP-2022-SU-00144 (6321 Old Centreville Road) | Chapter 870 TIA Determination

Hi Bishesh,

The proposed application to construct a church with 220 seats located at 6321 Old Centreville Road (Tax Map 65-1 ((1)) 8A1 and 8C), **does not require a Ch 870 TIA.**

Additional review by Fairfax County Transportation (FCDOT) will occur once Zoning distributes the case to county agencies. If additional transportation issues need to be addressed/discussed, Transportation and Zoning will coordinate and contact you.

Please include this email correspondence with your application submittal. I am including Zoning staff for notification purposes.

Thank you,
 Matt

Matthew Tatum

Transportation Planner II
 Fairfax County Department of Transportation
 4050 Legato Road, Suite 400
 Fairfax, VA 22033-2895

(571)-331-6996
 Matthew.Tatum@fairfaxcounty.gov

From: Bishesh Shrestha <bishesh@geoenv.net>
Sent: Friday, September 9, 2022 9:58 AM
To: Guthrie, Michelle <Michelle.Guthrie@Fairfaxcounty.gov>
Cc: Bishoy Faheim <bishoy@geoenv.net>; Tatum, Matthew <Matthew.Tatum@fairfaxcounty.gov>; Ko, Jeremy <Jeremy.Ko@fairfaxcounty.gov>
Subject: RE: SP-2022-SU-00144 (6321 Old Centreville Road)

Thank you, Michelle. We did not have a pre-application meeting.

Matt,
 Attached are the justification letter and site plan. Please review and advise.

Thank You



Bishesh Shrestha

Principal

Office 703-591-7170 ext 108

Direct 703-559-8802

Email bishesh@geoenv.net

10875 Main St, Suite 213, Fairfax, VA 22030

From: Guthrie, Michelle <Michelle.Guthrie@Fairfaxcounty.gov>

Sent: Thursday, September 8, 2022 8:24 PM

To: Bishesh Shrestha <bishesh@geoenv.net>

Cc: Bishoy Faheim <bishoy@geoenv.net>; Tatum, Matthew <Matthew.Tatum@fairfaxcounty.gov>; Ko, Jeremy <Jeremy.Ko@fairfaxcounty.gov>

Subject: RE: SP-2022-SU-00144 (6321 Old Centreville Road)

Hello,

Have you had a pre-application with Jennifer Josiah? Just wondering because I don't recall this one and the pre-app group usually reviews all churches. The traffic TIA determinations are done by Matt Tatum. I'm including him on this email so he can contact you directly. You'll need to provide him with the statement of justification (SOJ) and a site plan/plat if you have it. Once you've received a TIA determination response from him, you can upload into PLUS and proceed with Zoning. Let me know if I can help with anything else.

Michelle

From: Bishesh Shrestha <bishesh@geoenv.net>

Sent: Thursday, September 8, 2022 4:04 PM

To: Guthrie, Michelle <Michelle.Guthrie@Fairfaxcounty.gov>

Cc: Bishoy Faheim <bishoy@geoenv.net>

Subject: SP-2022-SU-00144 (6321 Old Centreville Road)

Hi Michelle,

We received the following comments for application SP-2022-SU-00144. Can you please advise.

Comment: Please contact FCDOT for traffic determination and upload into Plus once complete

Thank You.



Bishesh Shrestha

Principal

Office 703-591-7170 ext 108

Direct 703-559-8802

Email bishesh@geoenv.net

10875 Main St, Suite 213, Fairfax, VA 22030



County of Fairfax, Virginia

MEMORANDUM

DATE: October 18, 2024

TO: Brandon McCadden, Staff Coordinator, Zoning Evaluation Division, DPD

FROM: Stephanie Newman, Heritage Resources Planner, DPD 810

CC: Denice Dressel, Branch Chief, Heritage Resources and Plan Development, DPD

SUBJECT: Heritage Resources Comments for SP-2022-SU-00144 (The DeBell House/Sunnyside)

Background:

The Special Permit application is for the proposed construction of a new church building on the subject parcel, which is zoned R-1. The site is currently improved with an existing residential dwelling which is proposed to be demolished and replaced with a newly constructed church building. The subject property is located at 6321 Old Centreville Road, Centreville, Tax Map Parcel 6-51 ((1)) 8C, in the Sully Supervisor District, within Comprehensive Plan Area III, in the Bull Run Planning District, and in the Centreville Community Planning Sector (BR6).

Existing Heritage Resources:

The subject property is not located in a county-designated Historic Overlay District, nor is it listed on the Fairfax County Inventory of Historic Sites, the Virginia Landmarks Register, or the National Register of Historic Places. Heritage Resources staff requested a Phase II Architectural Study of the extant structure, in response to the current redevelopment proposal under consideration, which proposes demolishing the existing building. The applicant contracted with Iron Dog Preservation, LLC to complete the survey in June 2023.

The DeBell House, also known as Sunnyside, is a two-story frame and log dwelling (VDHR ID 029-6264), located on the subject property. The house was initially documented in a 2017 Phase I survey conducted as part of a Virginia Department of Transportation project to widen Route 28. The Phase I survey erroneously dated the house to 1925. The Phase II Study Report conducted for the current Special Permit application, based on physical evidence and tax



records, indicates that the earliest portion of the house was constructed prior to 1854, as a two-story heavy timber frame dwelling with an interior stone chimney, which is represented today by the northeast corner of the house. The following is a summary of the building's history taken from the Phase II Study Report.

The next phase of construction was a log pen, possibly only 1 ½ stories tall. The date for this phase of construction is unclear as log construction is notoriously difficult to date. However, because there is no increase in building value reflected in the tax records between 1854 and 1884, an addition during this period seems unlikely. The log construction, former stone foundation, visible cut nails, width of the floorboards, and molding profiles, taken as a whole, would seem to argue against a post-1884 construction date. Therefore, the Phase II survey hypothesizes that the log section already existed when the property underwent tax assessment in 1854. Some of the trim in the log section of the house also appears to pre-date 1854, specifically the door and door surround from the rear hall to the enclosed side porch, and the trim around the doorway from the upstairs hall to the chamber above the dining room. The partition on both levels as well as the floorboards in the hall and upstairs chamber may also date to pre-1854.

The DeBell House/Sunnyside house was originally located approximately 1 mile due north of its current location where the Centreville Regional Library now stands. John Daniel DeBell, who owned a store in what is now the Centreville Historic District, purchased the home and the surrounding 231 acres in 1878. It was during his ownership that the property first acquired the name "Sunnyside Farm." Tax records indicate DeBell made substantial alterations to the home. In 1903, the buildings on the Sunnyside property were assessed at a value of \$695. In 1904, they were assessed at \$1275, and a note in the "Explanation of alterations" column on the form says, "Improvements." The value jumped again in 1906 to \$2040, which may reflect significant improvements to the house over the course of several years. In addition, the physical evidence strongly suggests that numerous aspects of the existing house could date to the 1890s or very early 1900s, consistent with the increased tax assessment.

John D. DeBell died in 1910 and his son, John Thomas DeBell, inherited Sunnyside Farm. According to physical evidence, news articles, and family history, he added the two-story rear kitchen addition including the two rooms above on the second floor. Prior to this, the kitchen had been located in a separate building behind the house. John T. DeBell also constructed a dairy in the 1920s and converted the farm into a dairy farm.

Stuart DeBell took over the farm after his father John T. DeBell's death in 1946. WWII brought a labor shortage with men leaving to join the military. Historical records indicate that, at one point, German POWs were brought in to work the farm and helped build a silo. The labor shortage continued after the war and with new changes in the dairy industry, profits falling, and family circumstances, the DeBells decided to sell their cattle, farm equipment, and much of the acreage surrounding the home.

The 1960s brought substantial change to Sunnyside. Family history indicates that a "complete remodel" occurred in 1965. In 1968 the DeBell House/Sunnyside, which at the time was a product of over one hundred years of rural living, found itself caught in the path of suburbanization and advances in transportation. Interstate 66 was coming to Centreville, and its proposed route threatened the farmhouse. To save their home, Stuart DeBell hired house mover

William Bernard “Buck” Patram to move Sunnyside approximately 1 mile south out of I-66’s path, to the location where it sits currently. Patram was involved in moving numerous buildings in Fairfax County during I-66’s construction and at his death in 2022 the International Association of Structural Movers called him “one of the industry’s legendary movers.”

Stuart DeBell died in 1980. His wife, Mildred, took over ownership of the Sunnyside home. She died in 2019 and the home was sold to the current owners. Up until recently, the basement level had been used as a church meeting space while the upper floors have remained unoccupied.

Per the Phase II study, though it has been relocated, the house retains integrity of location, design, materials, workmanship, feeling, and association, although some of these aspects of integrity are stronger than others. In some cases, the house retains integrity to the post-1968 period only. The study recommends the DeBell House/Sunnyside eligible for the National Register of Historic Places at the local level with a period of significance from 1840-1973 under:

- Criterion A in the area of Community Planning and Development. The house reflects the shift in Fairfax County from a primarily rural, agricultural county to one that is nearly synonymous with suburban development. The fact that the DeBell House/Sunnyside was moved away from the path of I-66 to a nearby area that was further from the main transportation corridors and remained rural in the 1960s is part of its significance. Many of Fairfax’s old houses have been lost over the last 50 years but Sunnyside was moved, and it remains to tell this story.
- Criterion C in the area of Architecture. The house is an example of an evolved dwelling that exhibits multiple different building periods and technologies.

Heritage Resource Recommendations:

The Phase II study identifies the DeBell House/Sunnyside as an endangered resource in Fairfax County due to immense development pressure. The study encourages consideration of the house’s historic significance but notes that this does not preclude development. The study offers several options for development with preservation, including potential reuse of the dwelling, construction of a new church building adjacent to it, and relocation for the dwelling to a different parcel.

Comprehensive Plan guidance for heritage resources listed on the County Inventory of Historic Sites, or found potentially eligible for the National Register of Historic Places, includes avoidance, documentation, and interpretation. Given this and the findings in the Phase II study, Heritage Resources staff have recommended preservation of the DeBell House/Sunnyside in situ, if at all possible, rehabilitating the building for residential or adaptive reuse.

If preservation in situ is not possible, staff recommended preservation via relocation. Staff have reached out to the Historic Centreville Society and the Fairfax County Park Authority (FCPA) to determine whether there is a parcel available to which the house could be relocated. FCPA Land Development Services has advised Heritage Resources staff that there is no current plan to accommodate the house’s relocation. Staff have also reached out to the Department of Planning and Development’s Environment and Development Review Branch to determine whether it would be possible to relocate the house to the conservation easement area

on the parcel. However, the easement area is stipulated to remain wooded and therefore would not be suitable for relocation.

Staff requested and have received a Phase II Architectural Study, which provides a level of documentation staff believes appropriate for the building in the case of its demolition. If preservation in situ or via relocation is not possible, staff recommends the following:

- 1.) That the applicant, prior to the issuance of a non-residential use permit and bond release for the proposed development, contribute a sum not to exceed \$5,000 to the Fairfax County History Commission for the historical interpretation of the DeBell/Sunnyside House through the fabrication and installation of a historical marker. The text of the marker should be determined in consultation with the Department of Planning and Development Heritage Resources staff, and the History Commission. The marker should be installed on the subject property at a location determined and agreed upon by the History Commission and applicant, and visible from the public right-of-way on Old Centreville Road.

Comprehensive Plan Guidance:

Fairfax County Comprehensive Plan, 2017 Edition, Area III, Bull Run Planning District, Amended through 2-23-2021, Overview, P. 4.

“MAJOR OBJECTIVES

...

- Identify, preserve and promote awareness of heritage resources through research, survey and community involvement.”

P. 8

“Heritage Resources

The Bull Run Planning District contains both known and potential heritage resources. A list of those resources included in Fairfax County’s Inventory of Historic Sites is shown on Figure 3, and a map of those resources is shown on Figure 4. The Inventory is open-ended and continues to grow.

...

Several important historic resources are present in the District, a number of which represent events of the Civil War. There is a high potential for the identification of additional resources indicative of other periods in the county’s history, and of the historical growth of Centreville and Chantilly. Several historic family cemeteries are located within the Bull Run Planning District. Development plans should provide for their preservation in accordance with state statutes and county ordinances. Centreville’s historic and unique vista should be preserved as much as possible.”

P.15.

“In those areas where significant heritage resources have been recorded, an effort should be made to preserve them for the benefit of present and future generations. If preservation is not feasible then the threatened resources should be thoroughly recorded and, in the case of archaeological resources, the data recovered in accordance with countywide policies.

Prior to any zoning action, heritage resource staff from the Department of Planning and Zoning should be consulted as to what architectural surveys are necessary to document any on-site cultural resources. Archaeological staff from the Park Authority should be consulted to develop a scope of work for any on-site archaeological surveys prior to any development or ground disturbing activity. Should architectural or archaeological resources be discovered that are potentially eligible for inclusion in the National Register, further survey and testing should occur to evaluate these resources as to their eligibility. If such resources are found to be eligible, mitigation measures should be developed that may include avoidance, documentation, data recovery excavation and interpretation.”

Fairfax County Comprehensive Plan, 2017 Edition, Area III, Bull Run Planning District, Amended through 2-23-2021, BR6-Centreville Community Planning Sector, P. 80.

“Heritage Resources

To establish a balance between development and preservation, the visible heritage resources features should be incorporated as design elements in development plans, and Civil War camps containing intact features should be preserved or recovered.”

P. 84.

“Any development or ground disturbance in this sector, both on private and public land, should be preceded by heritage resource studies, and alternatives should be explored for the avoidance, preservation or recovery of significant heritage that are found. In those areas where significant heritage resources have been recorded, an effort should be made to preserve them. If preservation is not feasible, then, in accordance with countywide objectives and policies as cited in the Heritage Resources section of the Policy Plan, the threatened resources should be thoroughly recorded and in the case of archaeological resources, the artifacts recovered.”

Fairfax County Comprehensive Plan, 2017 Edition Policy Plan, Heritage Resources, Amended through 4-29-2014, P. 3-5.

“COUNTYWIDE OBJECTIVES AND POLICIES

Objective 1: Identify heritage resources representing all time periods and in all areas of the county.

Policy a. Identify heritage resources well in advance of potential damage or destruction.

...

Objective 2: Maintain a county Inventory of Historic Sites to recognize the value of significant heritage resources for preservation.

Policy a. Evaluate heritage resources for listing in the county Inventory of Historic Sites according to established local, state and national criteria. The quality of significance in national, state, and local history, architecture, archaeology, engineering, and culture is present in districts, sites, buildings, structures, and objects that possess integrity of location, design, setting, materials, workmanship, feeling, and association, and meet one or more of the following criteria:

1. Be associated with events that have made a significant contribution to the broad patterns of our history;
2. Be associated with the lives of persons significant in our past; or
3. Embody the distinctive characteristics of a type, period, or method of construction, or that represent a significant and distinguishable entity whose components may lack individual distinction;

...

Policy b. Evaluate heritage resources for listing in the county Inventory of Historic Sites according to established public significance criteria. A heritage resource is significant to the public if it meets one or more of the following criteria:

1. It possesses information on or represents any aspect of heritage considered important by a discrete population, ethnic group, or community; or
2. It has the potential to serve, or already serves, as a focus of community identity and pride; or
3. It retains characteristics that are potentially useful in educating the public about the past and how it is studied; or
4. It enables the exhibit and display of objects, ruins, or stabilized restored structures for public education and enjoyment.

Objective 3: Protect significant heritage resources from degradation, or damage and destruction by public or private action.

Policy a. Avoid adverse impacts on or destruction of significant heritage resources unless there is no prudent and feasible alternative, in which case, plan and carry out appropriate activities to minimize the adverse effect.

Policy b. Plan and undertake appropriate actions to retain and enhance significant heritage resources to be affected by public or private land use or development.

...

Objective 4: Promote and encourage the protection and preservation of significant heritage resources.

...

Objective 5: Increase the levels of public awareness of and involvement in heritage resource preservation.

Policy a. Provide information on the county's heritage resources and heritage resource preservation activities for public education and enjoyment, through interpretive facilities, displays, publications, public presentations, the electronic media, and state and county historical site markers."

Photographic Exhibits:



Figure 1: DeBell/Sunnyside House, 6321 Old Centreville Road, front façade (photograph courtesy of Kristin Kirchen)



Figure 2: DeBell/Sunnyside House, 6321 Old Centreville Road, southwest elevation (photograph courtesy of Kristin Kirchen)



Figure 3: DeBell/Sunnyside House, 6321 Old Centreville Road, northeast elevation (photograph courtesy of Kristin Kirchen)



Figure 4: Mantel, west front room (photograph courtesy of Kristin Kirchen)



Figure 5: Second floor, bedroom above dining room (log section), detail of exposed logs in east wall (photograph courtesy of Kristin Kirchen)

Intensive-Level Architectural Survey of the House at 6321 Old Centreville Road, Sunnyside House Fairfax County, Virginia

DHR File # 029-6264



By Kristin H. Kirchen, Principal Architectural Historian

Iron Dog Preservation, LLC

June 2023

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DHR # 029-6264

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Owner, 6321 Old Centreville Road

Fairfax, VA

June 2023

Abstract

The objective of this project is to complete an intensive-level architectural survey of the house known as the Sunnyside House at 6321 Old Centreville Road in Fairfax County. The house has been previously surveyed and a file on the property exists at both the Fairfax County Department of Planning and Zoning, Heritage Resources Division, and at the Virginia Department of Historic Resources (VDHR). The house is recorded as resource #029-6264 in VDHR's Virginia Cultural Resource Information System (VCRIS). The survey area was limited to the parcel on which the house currently sits and the house is presently the only building on the property. Historic research was conducted at the Virginia Room at the Fairfax County Public Library, online at the Library of Congress, and at the Library of Virginia, and also included numerous documents in the building file maintained by the County's Heritage Resources staff. The physical documentation of the building included extensive photographs, both interior and exterior, along with sketched floorplans, that informed a narrative description and analysis of the various building phases represented by the house today. The two-story frame and log dwelling is an evolved building that represents multiple different construction episodes dating back to the mid 19th century. It was the home of the DeBell family from 1878-2019 and was situated at the center of a large dairy farm located along Route 29 just west of Centreville until 1968, when it was relocated to its current site as a result of development pressure. Based on the research conducted, it is the recommendation of the author that the Sunnyside House at 6321 Old Centreville Road is recommended eligible for listing on the National Register of Historic Places and the Virginia Landmarks Register at the local level under Criterion A in the area of Community Planning and Development and Criterion C in the area of Architecture with a period of significance of ca. 1840-1973. The dwelling retains integrity of location, design, materials, workmanship, feeling, and association, though some of these aspects of integrity are stronger than others, and in some cases the house retains integrity to the post-1968 period only. The Sunnyside House is eligible under Criterion A in the area of Community Planning and Development because it reflects the shift in Fairfax County from a primarily rural, agricultural county to one that is nearly synonymous with suburban development. The fact that the Sunnyside House was moved away from the path of I-66 to a nearby area that was further from the main transportation corridors and remained rural in the 1960s is part of its significance. Many of Fairfax's old houses have been lost over the last 50 years, but because the Sunnyside House was moved, it remains to tell this story. The house is also eligible under Criterion C in the area of Architecture as an example of an evolved dwelling that exhibits multiple different building periods and technologies. As an example of the types of building craftsmanship that literally built Fairfax County over a period of 135 years, between 1840 and 1973, the Sunnyside House is also an endangered resource in Fairfax County due to the immense development pressure. The period of significance is intended to capture the construction of the earliest part of the house, which is definitely pre-1854, through the period of its relocation to its new site. Consideration of this historic significance is encouraged, but does not preclude development. Options include potential reuse of the dwelling, construction of a new church building adjacent to it, and relocation of the dwelling to a different parcel.

Acknowledgements

The author would like to thank the staff at the Fairfax County Heritage Resources Division, especially Laura Kviklys and Stephanie Newman, for sharing their file on the house; Chris Barbuschak at the Virginia Room at the Fairfax County Public Library; Michael Pulice with the Virginia Department of Historic Resources, for sharing his extensive knowledge about log construction in the Commonwealth; and DeBell family member John T. DeBell, for sharing family photographs and memories of growing up at Sunnyside.

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Introduction

The house known as the Sunnyside House was first constructed prior to 1854 and evolved significantly over the next 170 years, including a relocation in 1968. The DeBell family owned it from 1878-2019, and Mildred DeBell lived in the house for 80 years, until her death one month shy of 102. The property is now owned by a church and they've been using the basement level for their worship services, but their ultimate goal is to demolish the house and build a new church. The Fairfax County Heritage Resources Staff reviewed the proposed demolition and new construction and requested a Phase II survey of the house as part of the planning and review process. County staff had some records that suggested that part of the house was log construction and dated to the mid 19th century, while the only survey of the house on file with the Virginia Department of Historic Resources (VDHR) dated to 2017 and assigned the house a construction date of ca. 1925. This report, along with an updated Virginia Cultural Resource Information System (VCRIS) record and photographic prints, is intended to satisfy the County's request in a timely fashion so that the property owners can proceed through the planning and review process. This project resulted in the development of an historic context for the house; a synthesis of the history associated with the house; an exploration of the evolution and expansion of the building; an updated survey file with current photographs, both exterior and interior; and a recommendation about the eligibility of the house for listing on the National Register and the Virginia Landmarks Register.

Kristin Kirchen, owner and principal architectural historian for Iron Dog Preservation, LLC, conducted the field survey and historic research for this project in May and June 2023. The purpose of an intensive-level survey is to determine a resource's potential eligibility for listing on the Virginia Landmarks Register and the National Register of Historic Places.¹ It is not intended to represent an exhaustive history of the house or family, nor is it able, under the existing time constraints, to answer every research question and solve every nagging mystery. But the goal is to ensure that the information ultimately on file in County and State records is accurate and that local officials are aware of the possible significance of the house as they consider the next chapter in its history. This report is broken down into three main sections: Historic Context (general history of the surrounding area, history of domestic architecture in the surrounding area, and history of the Sunnyside House), Survey Findings (description of the interior and exterior of the house as it is today and analysis of the architectural evidence to determine construction dates and integrity), and Recommendations (an evaluation of the evidence within the developed context against the National Register criteria to make a recommendation about eligibility).²

Historic Context

Geography

The Sunnyside House is located in the western portion of Fairfax County, near what remains of the historic village of Centreville located to the north. It sits today on the south side of Old Centreville Road near its northern terminus at the Centreville United Methodist Church Park and Ride. Route 28, today called Centreville Road, bounds the property on the south; the Centreville United Methodist Church is

¹ Virginia Department of Historic Resources, 24.

² On the subject of names, the subject dwelling is referred to in this report as the Sunnyside House, rather than simply Sunnyside. This is intended to make a distinction between the house as it sits today – a solitary house on a residential parcel in a suburban area – from the property known as Sunnyside Farm, which was a 500+ acre farm located on the north and south sides of Route 29/Lee Highway for which this house served as the main dwelling for over 100 years before it was moved in 1968.

located across the street to the north; a picnic pavilion for that church occupies the parcel to the west; and a Montessori School is located on the adjacent parcel to the east. Dense suburban development dating mostly to the last 40 years is the character defining feature of the surrounding area. Major road corridors, including Route 28, Route 29/Lee Highway, and Interstate 66 are all located within one mile of the house (Figure 1).

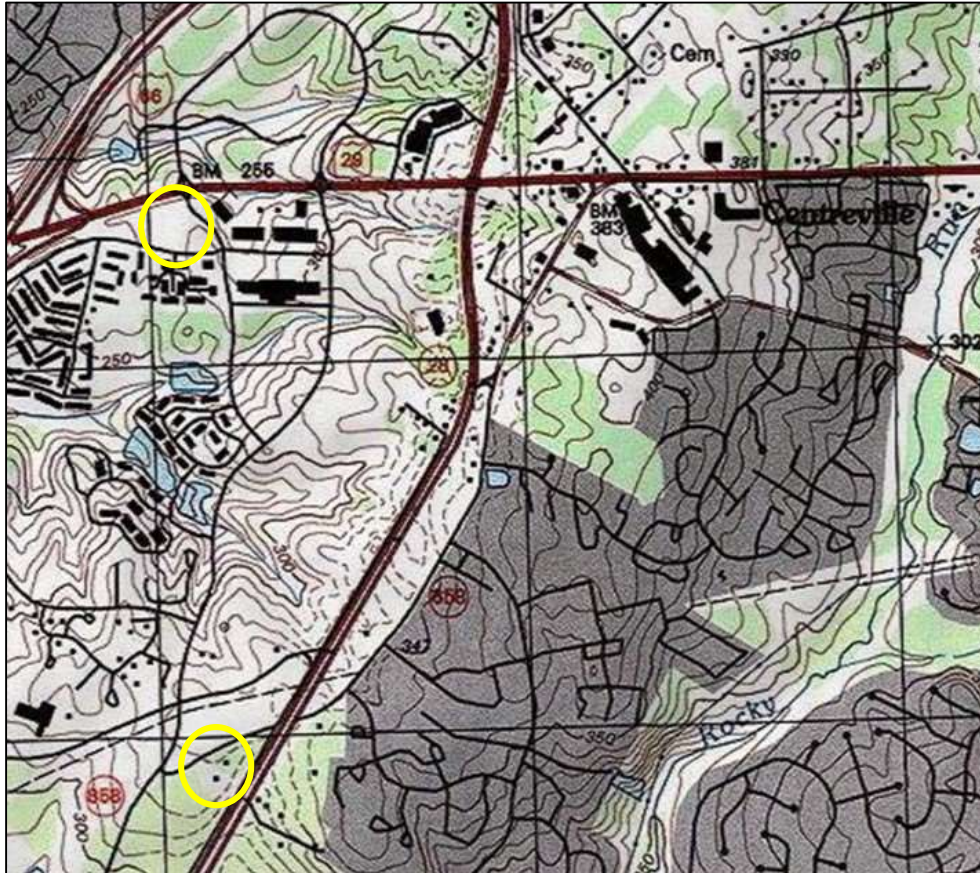


Figure 1. General project location shown on USGS Topographic Quadrangle Map – Manassas, VA, 1990 (1996 ed.), 1:24,000. Current location of the house is shown by the yellow circle towards the bottom of the map, while the yellow circle towards the upper left marks the original location of the house.

In spite of its dense suburban development over the last 40 years, Fairfax County is rich in history and numerous historic properties are recorded within the vicinity of the Sunnyside House. The house is located within the Blackburns Ford/Bull Run Battlefield (029-5117) and about one mile south of the Centreville Historic District (029-0428). The original location of the Sunnyside House is about 1 mile due north of the current location, at the intersection of I-66 and Route 29, where the current Centreville Regional Library is located today. The house faced north on that site too, and was surrounded by associated domestic and agricultural outbuildings. The property included about 230 acres on the south side of Route 29 and 220 acres on the north side of the road. It was about half a mile due west from the village of Centreville.

Today, the house sits on a 1-acre parcel in a suburban area. A horseshoe-shaped driveway provides access to the house from Old Centreville Road, and there are the remnants of planned landscaping beds

skirting the foundation and near the driveway. But most of the parcel has been cleared of trees and landscaping and it has an open view of the traffic on Route 28 to the south (Figure 2).

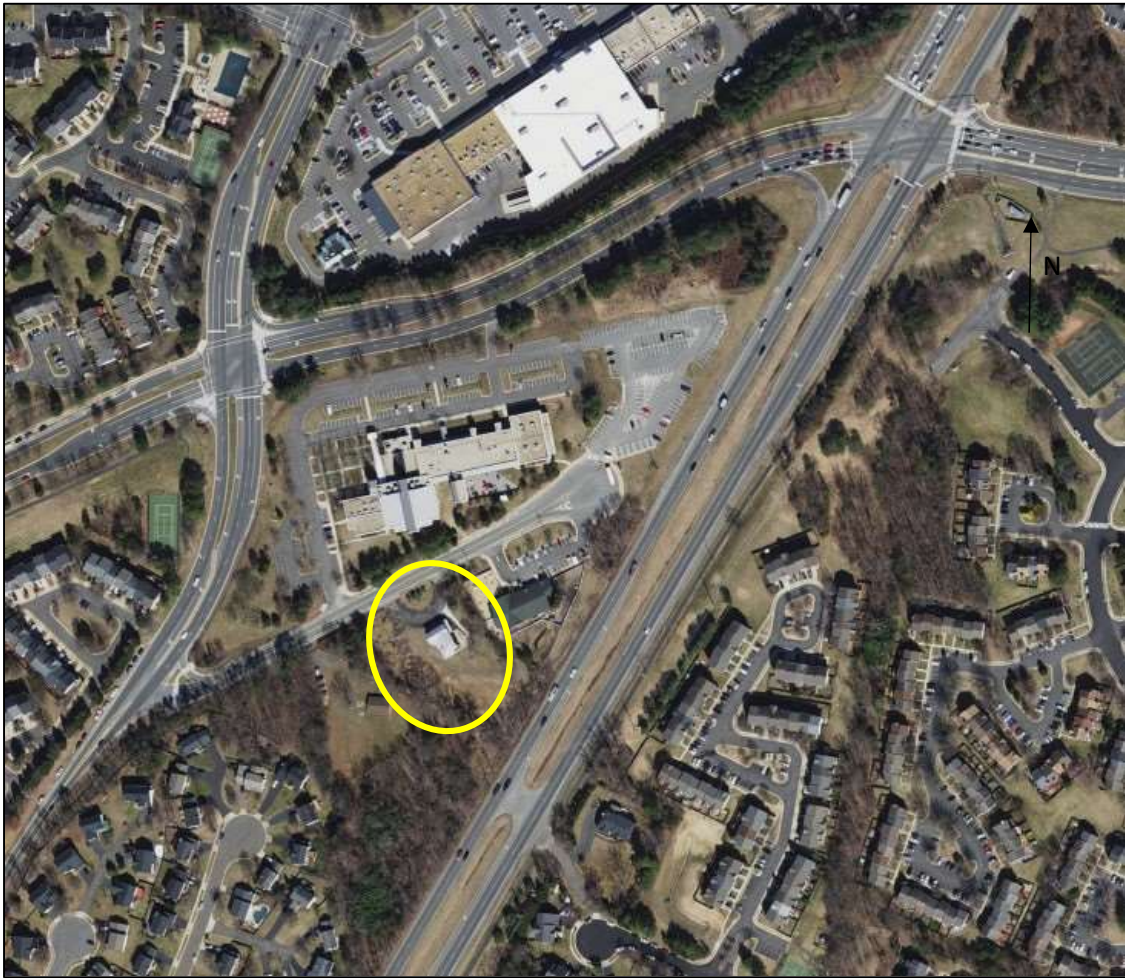


Figure 2. Sunnyside House, 6321 Old Centreville Road. 2022. Map courtesy of Virginia Cultural Resource Information System.

History of Fairfax County and Centreville

Fairfax County was formed from Prince William County in 1742. The County is located in the northern part of Virginia and the Potomac River curves around to form the north and eastern borders of the county. The river, and the associated ports, were an important source of commerce and transportation, and numerous smaller waterways criss-cross the county, heading for the Potomac. During Colonial times, these waterways were an essential component of the tobacco-based economy. When Fairfax County was formed in 1742, at least a third of the population was enslaved Africans, while many of the white occupants were indentured workers; forced labor was the backbone of the tobacco economy.³ Commercial sites centered around ports, tobacco warehouses, and prizeeries, and crossroads communities developed along important transportation routes, but there were few actual towns in Fairfax County in the 18th century.

³ Netherton, 26.

The town of Centreville was established by an Act of the General Assembly in 1792 and grew out of an existing crossroads community called Newgate. It was located on a high plateau at the intersection of Braddock Road and the road to Warrenton, and business interests in the town depended on the traffic that travelled along these roads – taverns for rest and refreshment, stores for supplies, blacksmiths shops for repairs.⁴

By the early 19th century, tobacco cultivation had exhausted the soil, and the size of farms had decreased, making the tobacco-based plantation economy no longer profitable. In 1810, the ratio of blacks to whites in Fairfax County was nearly 1 to 1.⁵ The size of the farms decreased and the crops diversified in the early 19th century, but enslaved laborers were still important to the agricultural production. The hiring out or “renting” of enslaved laborers on an annual basis was common practice, and the village of Centreville became one of the local trading centers where this annual market took place.⁶ Although platted with a grid plan, the town of Centreville never really developed that way. Instead, the construction of dwellings and stores seems to have occurred mostly in a linear fashion along Braddock Road (known as Main Street through town). Main Street was bookended by two substantial dwellings, The Four Chimney House (also known as the Grigsby House) and Royal Oaks.

The depletion of the soil as a result of tobacco cultivation did result in the abandonment of some farms in the early 19th century, and the population declined in the County during the first part of the century – falling 30 percent between 1800 and 1840.⁷ In fact, by the early 1840s, a significant proportion of the land in Fairfax County was no longer under cultivation as farms were abandoned.⁸ Land speculators, in turn, bought up these abandoned farms at auction for bargain prices and attempted to resell them.⁹

Around Centreville, Alexander Spotswood Grigsby became one of the most well-known businessmen during this time due to his involvement with both slave trading and real estate speculation. As many younger generations of old Fairfax families headed west towards the promise of more fertile land, Grigsby bought up their real estate. During the thirty-year period from 1830-1860, nearly every house in the town of Centreville, and many of the surrounding farms, passed through his hands.¹⁰ Between 1852 and 1855, the Fairfax County land tax records reveal that Grigsby was taxed on no less than 10 different parcels of land, some years more; some were small lots in town while some consisted of several hundred acres. In December 1852, Grigsby sold the 231-acre property that would eventually become Sunnyside Farm to Joel Mann. Mann is taxed on the land for the first time in 1854, when the value of buildings on the property is assessed at \$550. It seems very likely then, that the 231-acre property was one of these properties that Grigsby bought on speculation. Who, precisely, he bought it from is unclear at this point in time.

Agricultural reform in the form of diversified crops, crop rotation, and soil enhancement could return these abandoned farms to productivity, and the land speculators bet on the willingness of new owners

⁴ Smith, 31.

⁵ Netherton, 154.

⁶ Smith, 39.

⁷ Netherton, 252.

⁸ Netherton, 163.

⁹ Netherton, 165.

¹⁰ Smith, 43.

to do just that. Surprisingly enough, many of these new owners came from Northern states.¹¹ By 1850, one out of three adult white males living in Fairfax had migrated from the North or from outside the United States, and the associated population increase was also tied to a resurgence of the agricultural economy.¹² With the exception of the growing cities of Arlington and Alexandria, which were actually annexed away from Fairfax County in 1801, the landscape of Fairfax County remained decidedly rural through the 19th century. Agriculture remained the basis of the economy with various types of mills – grist, wool and cotton, and sawmills – operating on the many waterways throughout the county.¹³

The first part of the 19th century was characterized by the construction of toll roads and other efforts to improve internal transportation corridors, including the construction of bridges over the many small waterways. The Fauquier-Alexandria Turnpike (later called the Warrenton Turnpike) was planned and incorporated in 1808 in an attempt to connect Alexandria with the agricultural areas of Fauquier and Culpepper Counties.¹⁴ This turnpike included the construction of the stone bridge over Bull Run and was complete by 1827.¹⁵ The turnpike was never really profitable for its investors, but its importance to the town of Centreville is indisputable. With its completion, Centreville was connected to the larger turnpike system established by the Alexandria merchants, which made it easier for local farmers to get their goods to market and brought travelers headed to or from Alexandria or Washington directly through town.¹⁶

An 1835 Gazetteer offers a glimpse of what Centreville looked like that year:

It contains 30 dwelling houses, 1 Methodist meeting house, 2 taverns, 3 mercantile stores, 1 common school, and a well organized Sunday school. The mechanics are 2 tanners, 1 saddler, 4 boot and shoe manufacturers, 1 wheelwright, 2 blacksmiths, 1 cabinet maker, 2 house carpenters, and 1 tailor. For some time past this village has been declining but the spirit of industry and enterprise at present manifested by these inhabitants justifies the hope of a more favorable state of things. Population 220 of whom 2 are attorneys and 3 physicians.¹⁷

The arrival of two major rail lines in Northern Virginia in the 1850s, one from Alexandria to Gordonsville and one from Alexandria to Leesburg, further improved the overland transportation options in the County.¹⁸ The increased ease with which farmers could now transport crops to the booming commercial centers of Alexandria and the District of Columbia made agricultural land more attractive to those willing to experiment with the new agricultural practices. The 1850s saw rising land prices in Fairfax County for the first time in the 19th century.¹⁹ Census numbers suggest that these newly prosperous farms were not as dependent on enslaved labor as the larger plantations of the mid-late 18th century – the number of enslaved Blacks decreased from 3,453 in the County to 3,116 between 1840 and 1860. The successful farmer in the mid 19th century owned less land and fewer slaves than his 18th century

¹¹ Netherton, 259.

¹² Netherton, 259.

¹³ Netherton, 185.

¹⁴ Netherton, 198.

¹⁵ Netherton, 198.

¹⁶ Smith, 46.

¹⁷ Smith, 46.

¹⁸ Netherton, 266.

¹⁹ Netherton, 268.

counterpart and was probably more “middle-class” than aristocrat.²⁰ In 1852, A.S. Grigsby sold the 231 acres that would become Sunnyside to Joel Mann and, since Mann was taxed on \$550 worth of buildings on the property in 1854, it seems likely that there was a house on the property when he purchased it. The personal property tax list for 1857 suggests that Mann had a modest household and probably fit squarely into this category of “middle class” farmer. In 1857 Mann was taxed for 1 free male over age 21, 3 slaves over age 16, 4 horses/mules, 16 cattle/sheep/hogs, 1 carriage/wagon, 1 watch, 1 clock, and 0 pianos.

Overall, the attitude in Fairfax County by the 1850s was one of optimism and progress, but the Civil War would put a swift end to all of that. The very things that had contributed to the growing prosperity of the County – the close proximity to Washington D.C. and Alexandria, the important transportation corridors that criss-crossed the countryside – would bring the War to the doorsteps of Fairfax County residents with surprising rapidity. Little more than a month after the Confederate bombardment of Fort Sumpter, the Union Army took control of Alexandria in May 1861. They began building forts and massing troops around the town, and they took control of the Alexandria, Loudoun, and Hampshire rail line. The Confederates, meanwhile, took control of the Orange and Alexandria line in western Fairfax and began massing troops at Manassas Junction.²¹ For the average farmer, there was uncertainty and chaos. The small village of Centreville, situated on a high plateau at the intersection of two main roads and near the railroad at Manassas, was immediately seen as a strategic position, and a Confederate infantry regiment was garrisoned there as early as June 1861.²² In July 1861, 35,500 troops from the Union army marched toward Centreville and set up camp in and around the village.²³ A skirmish between Union and Confederate forces at nearby Blackburn’s Ford on July 18 was a win for the Confederates and the Union troops returned to Centreville with their wounded, where they turned a church (probably the Centreville Methodist Church), a hotel, and a large dwelling into hospitals.²⁴ When the Union and Confederate armies met for the first full-scale battle of the War at the First Battle of Bull Run on July 21, 1861, it was devastating for the surrounding countryside. Livestock were killed, crops were trampled, farms were plundered, buildings were destroyed, and residents fled from their homes. Once again, the buildings in Centreville were used for hospitals. At the end of the battle, the Union army bolted back towards Washington and Alexandria, and the Confederates plotted their next move from the occupied towns of Centreville and Fairfax Court House.

In February 1905, the Fairfax Herald published an account by George Richard Lee Turberville of his experiences in Centreville in July 1861. Turberville was a nephew of John D. DeBell, who would eventually buy the 231-acre property that became Sunnyside Farm. According to Turberville, who seems to have been a teenager during the War, in July 1861 his family’s home outside Centreville was taken over by “yankees” who took his horse. He went to Federal General Tyler’s headquarters “at the Joel Mann house, about half a mile from Centreville, on the Warrenton Turnpike, west” to ask permission to look for his horse. While at the headquarters, he overheard instructions to Federal troops to march towards Rocky Run along the Turnpike. He promptly returned home and shared this

²⁰ Netherton, 270.

²¹ Netherton, 322.

²² Smith, 51.

²³ Smith, 51.

²⁴ Smith, 51.

information with his uncle, DeBell, who was serving with Beauregard’s army at the time.²⁵ This is the only account of the Joel Mann house being used during the battle, and it isn’t labeled as a headquarters on any maps. The house does seem to be shown, as a darkened square at the end of a drive, on an 1861 map of the Battle of Bull Run, located just to the east of the location of General Tyler’s division (Figure 3). It also seems to be shown on an 1864 map of Fairfax County as a black square labeled “W. Rector” (Figure 4).²⁶

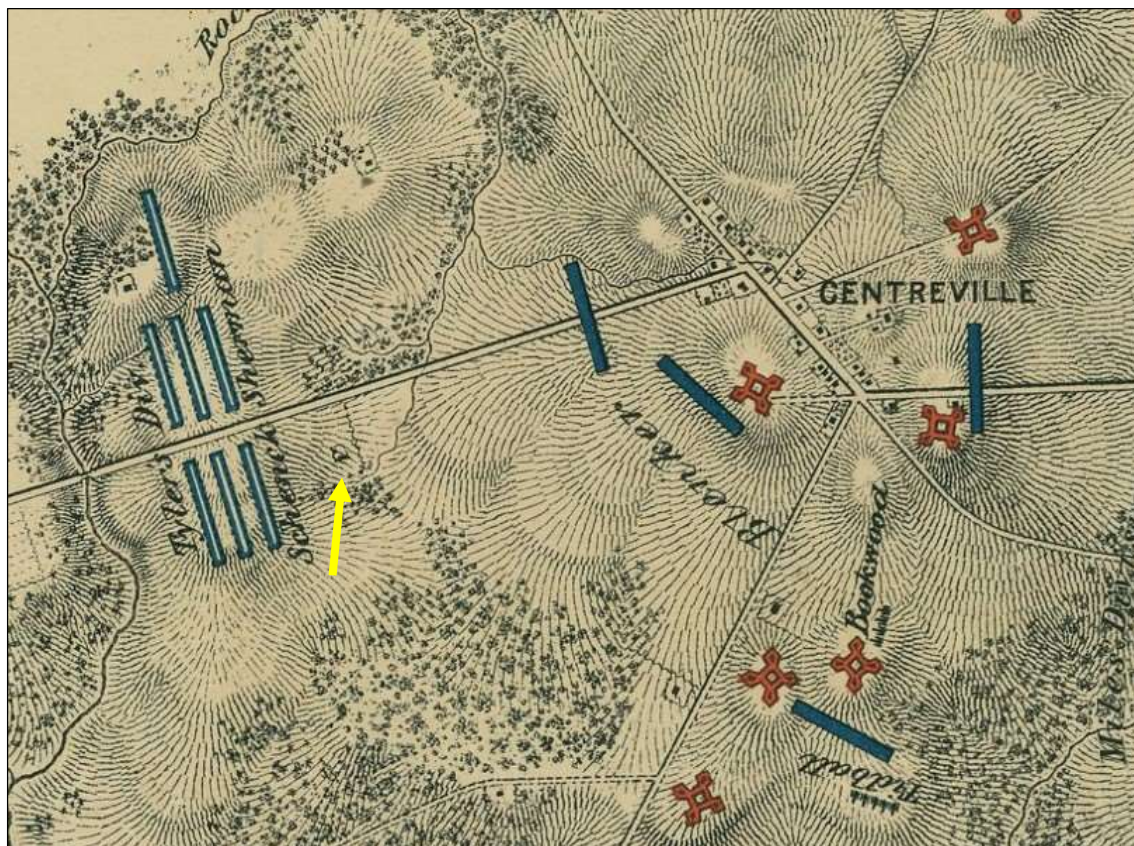


Figure 3. Detail of the area around Centreville, yellow arrow marks Joel Mann’s house. “Map of the Battlefield of Bull Run, Virginia. Brig. Gen. Irvin McDowell Commanding the U.S. Forces, Gen. G. [i.e. P.] T. Beauregard Commanding the Confederate Forces, July 21st 1861”. Washington, D.C: Bell Bros., 1877.

²⁵ Turberville.

²⁶ The name Rector isn’t associated with the property in either the deeds or the land tax records, but primary sources do indicate that Joel Mann was arrested by the Federal government for smuggling and counterfeiting in February 1863, so W. Rector could have been renting the property in 1864.

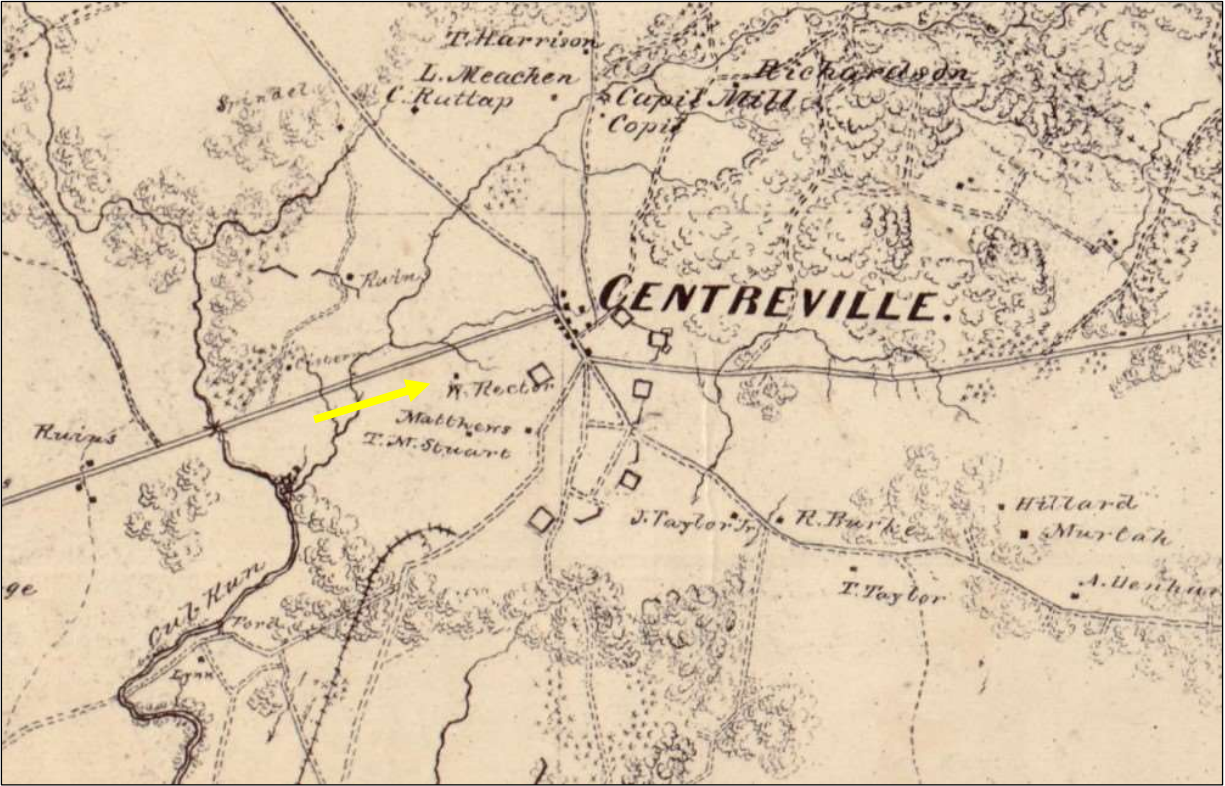


Figure 4. Centreville on 1864 map of Fairfax County. Yellow arrow marks Joel Mann's house, marked "W. Rector." Michler, N. *Map of Fairfax and Alexandria counties, Virginia, and parts of adjoining counties.* [S.l.: s.n, 1864] Map.

Ultimately, the Confederate Army of Northern Virginia, as they were then officially called, decided to set up winter quarters at Centreville for the winter of 1861. Historic maps show extensive fortifications around the town. Earthen fortifications, batteries, and redoubts ring the center of town while wider rings of abatis (trees and sharpened branches piled up to create obstacles to advancing troops) encircle the fortifications (Figure 5). Labeled groupings of log cabins served as troops quarters. The Confederates built five miles of earthworks on the Centreville Plateau.²⁷ Officers occupied existing houses in the town. The Confederate general headquarters was established at the Grigsby House, while General Johnston is reported to have used the dwelling known as Mt. Gilead as his residence.²⁸

²⁷ Smith, 56.

²⁸ Smith, 56.

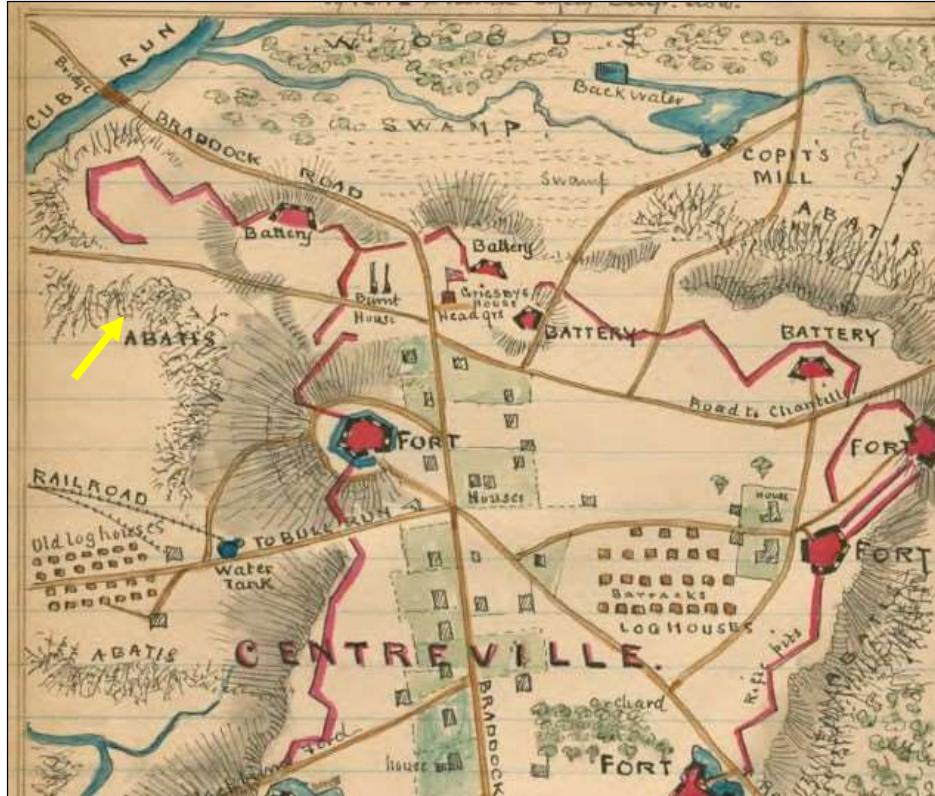


Figure 5. Detail of Centreville on 1861 Civil War map. Yellow arrow points to general location of Joel Mann's house which isn't shown. Sneden, Robert Knox, and J. G. Barnard. Plan of works erected at Centreville, Va., by Union forces. Under direction of Genl. Barnard Chief Engineer of Department of Washington.

A photograph from 1862 of earthen fortifications around Centreville that were located near the present-day intersection of Rt.29 and Braddock Road shows a denuded landscape, lacking trees, plants or buildings (Figure 6). The Confederate army occupied Centreville from October 1861 until March 1862, when they withdrew south to the Rappahannock River. Union troops marched into town the day after the Confederates left and spent several days surveying the Confederate fortifications and encampment before they withdrew back to Alexandria. In August 1862, the Union and Confederate armies clashed again in western Fairfax on the banks of Bull Run, once more bringing death and destruction to the countryside around Centreville.



Figure 6. View of the area around the current intersection of Rt. 29 and Braddock Road in 1862. [Confederate fort near Centreville, Va.] [graphic], 1862.

An 1865 description of the area of the Battle of Bull Run and Centreville paints a bleak picture:

From Alexandria to the battlefield is one wide area of desolation. Fences are utterly swept away. Here and there a dilapidated house shelters a few squalid inmates, and occasionally a small patch of corn or wheat is passed, but the whole face of the country is changed. Scrub oak and pine are springing up everywhere....Centerville is even more of a desert. Once a village of rare beauty, perched upon a gentle slope of a high ridge and commanding a view of fertile valleys for many miles war swept, it and its ruins lie about, invested with all the saddening influences of perfect desolation.²⁹

With the end of the Civil War, the citizens of Fairfax began the long task of rebuilding and recovery. With their houses and farms destroyed, their enslaved labor force freed and gone, and their Confederate money worthless, the farmers of Fairfax faced an uphill climb. By 1870, however, the county's economy had made good headway towards recovery. The population had increased since 1860, schools and churches had been repaired or rebuilt and were back in session, roads and bridges were repaired and replaced, and new rail lines were installed. The number of farms had increased significantly and agricultural production was high. Fairfax was the largest milk producer in the state and ranked in the top ten for production of butter, Irish potatoes, hay, and fruit.³⁰ Black citizens of Fairfax

²⁹ Smith, 59.

³⁰ Netherton, 387.

had to grapple with the same challenges as their White neighbors, in addition to the many challenges and prejudices unique to their experience. Successful and largely self-sufficient Freedmens communities grew up around Vienna, Baileys Cross Roads, Gum Springs, and Falls Church.³¹

The 1878 Hopkins Map shows Centreville as a nexus of development at the intersections of several roads with rural area spreading out around it (Figure 7). The village is centered on the intersection of Braddock Road and Warrenton Turnpike and development in the immediate area includes multiple dwellings, a school, two churches, a blacksmith shop, a post office, and a couple of stores – one of which was operated by John D. DeBell – along Braddock Road. The house that would become the Sunnyside house is also shown on the map, just to the west of Centreville on the Warrenton Turnpike, labeled as the home of Thomas R. Love. Two mills are shown on the map around Centreville, one to the northeast on Big Rocky Run is labeled “Grist and Sumac Mill,” while another to the west is labeled “Grist Mill.” Among other things, this map illustrates a remarkable recovery for a village fully occupied by two different armies just 15 years earlier.

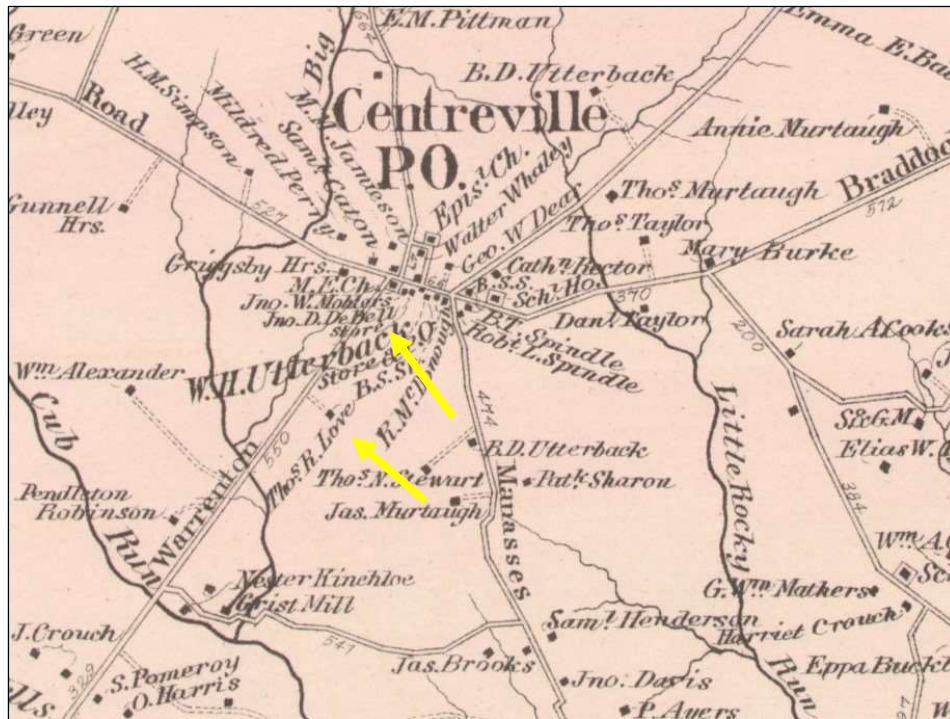


Figure 7. Detail of Centreville from 1878 Hopkins Map. Yellow arrows mark Thomas Love’s house and John DeBell’s store. Hopkins, G.M., [PRINCE GEORGE’S CO.] Atlas of Fifteen Miles Around Washington Including the County of Prince George Maryland, Philadelphia, 1878.

The early 20th century brought political changes that disenfranchised the Black citizens and enacted the Jim Crow laws that would limit their opportunities for decades to come, and it brought a series of transportation improvements that would change the physical landscape of the County forever. The first successful electric trolley line in the world opened in Richmond, Virginia in 1888, where it quickly spawned the development of residential subdivisions spreading out from the City center. Just four years later, the first electric trolley was established in Fairfax County, connecting Alexandria and Mt. Vernon.

³¹ Netherton, 445-458.

By 1906, there were thirty daily trains between Washington and Mt. Vernon.³² The electric trains made the amenities of Washington more accessible than ever for Fairfax residents (traveling to Washington for secondary education was popular) and they also enabled faster and more reliable transportation to market for the county's agricultural products, especially milk. Additional electric rail lines extended out across the county – the second electric railway connected Washington and Falls Church in 1897 and was directly responsible for the development of Falls Church as a Washington suburb.³³

While suburban development in the vicinity of Washington and Alexandria was certainly changing the landscape of eastern Fairfax, western Fairfax County remained largely rural and agrarian. Farming continued to be an important component of the County's economy and Fairfax remained the number one dairy producing county in the state during the first half of the 20th century.³⁴ A labor shortage, particularly bad during World War I, remained a concern for many farmers, but technological improvements in the form of tractors, trucks, and mechanized equipment aimed to blunt the impact.³⁵

While the trolley lines dramatically improved access to Washington and Alexandria from those localities located along the lines, the condition of interior roads through Fairfax made transportation anywhere other than the Washington area a real challenge. The dirt roads were dusty in the heat of summer but turned to rivers of mud with the lightest rain, miring wagons and pedestrians. The arrival of the automobile in the first decade of the 20th century caused an uptick in the bitter complaints about the state of the roads. The county completed its first macadamized, or hard-surfaced road, between Clifton and Centreville in the early 1900s.³⁶ As automobiles became increasingly popular and affordable in the 1920s, the demand for more paved roads grew. The establishment of the state highway system and the assumption by the state of road building responsibilities in 1919 marked a turning point in the ongoing struggle with road conditions.³⁷ The Byrd Road Act in 1932, which allowed the counties the opportunity to transfer their road building and maintenance responsibilities to the state, accelerated the construction of county roads over the next few years.³⁸ Once again, there was a direct connection between transportation improvements and agricultural prosperity, as the gradual paving of the county's roads made the transportation of agricultural goods to the Washington market via truck increasingly feasible.³⁹ While the paved roads made it easier than ever to transport produce and dairy products to Washington, they also made it easier for people seeking work to tap into the job market in the larger cities, making it increasingly difficult for farmers to find laborers to work their farms. Increasingly, the farmers themselves were giving up farming and becoming commuters to jobs in the cities or selling their farms entirely to speculators predicting that suburban residential development would continue to spread outwards from Washington and Alexandria.⁴⁰ By 1925, the percentage of the population

³² Netherton, 479.

³³ Netherton, 490.

³⁴ Netherton, 516.

³⁵ Netherton, 517.

³⁶ Netherton, 527.

³⁷ Netherton, 591.

³⁸ Netherton, 594.

³⁹ Netherton, 528.

⁴⁰ Netherton, 530-531.

engaged in agriculture dipped into the minority for the first time, as less than half of Fairfax County residents lived on farms.⁴¹

The economic changes that began in the first quarter of the 20th century with the advent of the electric trolley and the paving of the roads snowballed during the second and third quarters. With the increased accessibility of jobs in Washington and Alexandria due to road improvements and automobile ownership, more and more people were leaving their farms behind. The number of jobs in Washington was, in turn, exploding as the number of government jobs increased dramatically. The county's population quadrupled between 1930 and 1950, due largely to government expansion and the immigration of returning veterans and their families following World War II.⁴² Particularly in the western part of the County, many families remained engaged in agriculture, but World War II exacerbated the persistent labor shortages that had plagued farmers since the Civil War. At the same time, land was increasingly appraised for its residential value rather than its agricultural value, meaning farmers were struggling to find laborers to make their farms productive and yet their taxes were skyrocketing.⁴³ Increasingly, this meant that the agricultural landscape in Fairfax was increasingly divided between very large farms operated with expensive machinery and small farms operated on a part-time basis by farmers with day jobs; the moderately sized family farm that had been the backbone of Fairfax County for so long was fading away, often being replaced by residential subdivisions.⁴⁴

Population growth and the proliferation of residential subdivisions meant more and more people trying to use the same roads to commute to Washington and Alexandria. As early as the 1940s, congestion on the routes to and from the City was commonplace. The Federal Aid Highway Act of 1944 designated a national system of interstate highways intended to connect the major metropolitan areas and industrial centers and to serve the national defense. The first section of what was called Shirley Memorial Highway opened in Fairfax County (between the Pentagon and Leesburg Pike) in 1944; it was built by the Public Roads Administration to facilitate the transportation of thousands of wartime government employees who worked in Washington and lived in Arlington and Fairfax County.⁴⁵ It was later extended south to connect with U.S. 1 in Woodbridge in 1951 and incorporated into Interstate 95 in 1965. The construction of the Capital Beltway (I-495) in 1958 in the eastern part of the county allowed through-travelers to bypass Washington, but also facilitated access to the city for Fairfax County commuters.⁴⁶ The landscape of western Fairfax County would also change dramatically four years later in 1962 with the construction of Dulles International Airport on 12,500 acres in Fairfax and Loudoun Counties. I-66 was first proposed in 1956 to connect western Virginia with Washington D.C. and one of the first sections to be completed in 1961 extended between Gainesville and Centreville. The section of I-66 from Centreville east to the Beltway opened in 1964, opening western Fairfax to the same development pressures and opportunities felt in the eastern part of the county. As residential subdivisions replaced farms, they were accompanied by the development of shopping centers, office parks, and schools to serve the new suburbanites.

⁴¹ Netherton, 534.

⁴² Netherton, 545.

⁴³ Netherton, 560.

⁴⁴ Netherton, 561.

⁴⁵ Netherton, 596.

⁴⁶ Netherton, 597.

The end of the 20th century and beginning of the 21st has witnessed a continuation of these trends of suburbanization and transportation improvements. The skyrocketing value of land in close proximity to Washington D.C. has led to increasingly dense development, and older buildings on larger parcels are frequently cleared to make way for multiple new houses or shopping centers. Road widening projects, to accommodate additional lanes of traffic on existing roads, are commonplace. A current map of the Centreville area is difficult to reconcile with the 19th century maps. I-66 crosses Rt. 29/Lee Highway (former Warrenton Turnpike) and sweeps north just west of the former village. A large cloverleaf intersection is located just to the west of the former location of the Sunnyside house. Another large cloverleaf intersection at Rt. 29/Lee Highway and Rt. 28 (Centreville Road/Manassas Road) is located just to the west of the former village of Centreville, while another cloverleaf off of I-66 is located just to the north of the village. The crossroads of Braddock Road and the Warrenton Turnpike that formed the center of town for almost 200 years no longer exists due to the construction of shopping centers and the rerouting of roads. The remnants of the village of Centreville are nestled northeast of the Rt. 29 and Rt. 28 intersection, tucked behind a Bank of America and a Walgreens and ringed by dense residential development. Looking at aerial photos through the years, it is evident that the Centreville area did not see major alterations until the 1960s. In the 1960s, the intersection of Centreville Road (Rt. 28) and Rt. 29/Lee Highway was altered and the Newgate Shopping Center was built on a large parcel on the northwest quadrant of the intersection; I-66 was also built to the west of the village and apartments or townhouses were developed at the new interchange of I-66 and Rt. 29 (on the former Sunnyside property) (Figure 8). The 1970s aerials don't show much large-scale development in the area, but the difference between the 1980 aerial and the 1990 aerial is stark – development clearly exploded around Centreville in the 1980s. The area to the south of the village, along Rt. 28 in the vicinity of the new location of Sunnyside, saw extensive development in the 1990s (Figure 9).



Figure 8. 1960 aerial view of Centreville. Yellow arrow marks Sunnyside farm at its original location. Red arrow marks the location that the house would be moved to in 1968. Orange arrow marks the village of Centreville. Image courtesy of Fairfax County GIS.



Figure 9. 2002 aerial of Centreville. Yellow arrow marks the former location of Sunnyside Farm. Red arrow marks the Sunnyside House at its new location. Orange arrow marks the village of Centreville. Image courtesy of the Fairfax County GIS.

19th Century Domestic Architecture in Fairfax/Centreville

The most common type of building constructed across Fairfax County throughout its history has been the single dwelling. The Sunnyside House was first built sometime in the mid 19th century and was added onto and altered numerous times before it took its current form around 1916. While there certainly used to be many other 19th and early 20th century houses in the vicinity of Centreville, it is hard to find many to compare the Sunnyside House to today. A search of VDHRs VCRIS system for single dwellings built in Fairfax County between 1840 and 1900 returned 280 results. Of those 280, 39 are recorded as being destroyed while 88 are recorded as being threatened by demolition (this probably means that they were surveyed as a result of a project that would result in the demolition of the building). Because this survey data goes back to the 1970s and isn't regularly updated, there is no way

of knowing how many of these 280 surveyed resources are still standing today, but less than half is a very safe bet considering the development pressure in the county.

There isn't a comprehensive survey of the historic architecture of Fairfax County, but a book called Centreville, Virginia: Its History and Architecture written in 1973 provides information about a few historic houses in Centreville fifty years ago. There are also several historic photographs of Centreville from the mid-19th century and early 20th century that can tell us something about what the dwellings typically looked like. All of the dwellings surveyed or pictured in the book are frame construction (though one is rumored to be log construction sheathed with weatherboards), 1 ½ or 2 stories tall, single pile, with exterior end chimneys, many of which are stone. Many of the houses also rest on stone foundations.

Since part of the Sunnyside house is log construction, and the oral history suggests that this is the oldest part of the house, some attempt was made at determining how many other log dwellings survived in Fairfax County. An archivist at the Virginia Room at the Fairfax County Public Library was able to provide a list of 16 log dwellings that were still standing in Fairfax County to the best of his knowledge. Several searches in VCRIS for log dwellings built prior to 1885 returned a total of 18 results, some of which are the same houses noted on the County's list. Of those 18, at least 7 seem to have been demolished, based on aerial imagery from Google Earth, and several others have received substantial additions.

History of the Sunnyside House

A portion of the house that became the main dwelling on Sunnyside Farm was built prior to 1852. On Christmas Day 1852, Alexander S. and Caroline Grigsby sold 231 acres to Joel Mann for \$1865. In 1854, the land tax records indicate that Joel Mann was taxed \$550 for buildings on the 231 acres and \$3043.50 for the value of the land. The 1853 land tax records do not have any entries for Joel Mann, but it is not uncommon for the tax records to lag behind property transfers by a year or two. In the 1853 tax records, Grigsby is taxed for 13 different parcels, none of which is an exact match for the parcel that he sells to Mann. One of the parcels is 367 acres and described as west of Centreville, so it is possible that this parcel is subdivided and a portion sold to Mann. A building value of \$550 is greater than average, compared to the other building values on the same page of the land tax book, suggesting a substantial dwelling or a modest dwelling and a large barn and multiple outbuildings. It is possible that Mann built the dwelling in 1853, right after he acquired the property, or it was already standing when he purchased it. For the entire time that Mann owned the property, it was the only parcel that he was taxed on. In 1857, the personal property tax records reflect that Mann was taxed for 1 adult male (himself), 3 slaves over the age of 16, 4 horses/mules, 16 cattle/sheep/hogs, 1 carriage/wagon, 1 watch, 1 clock, and 0 pianos. Mann ran into some legal trouble during the Civil War. According to a brief article in the Alexandria Gazette on February 20, 1863, Joel Mann was arrested in Berlin, Maryland for attempting to smuggle \$8,000 in Confederate money to Richmond. He was also caught with \$800 in contraband goods in his wagon and "wrapped around the body of Joel Mann were found a thick coating of silk handkerchiefs, spool cotton, cutlery, etc." This might suggest why an 1864 map of the area appears to show the house labeled "Rector" – it may have been rented to the Rector family at that time. Mann continued to own the property until the late 1860s, when he went bankrupt and the property was sold at auction. The winning bidder, with a price of \$17/acre, was Richard Cockerille, who assigned the rights to the land to Thomas R. Love in 1872.

Looking at the tax value of the buildings on the parcel over time, it remained at \$550 until 1857, when it dropped to \$500 where it remained for the duration of Mann's ownership. In the land tax records Mann actually continued to be listed as the owner for the parcel until 1874, when the value of the buildings dropped to \$400 while the value of the land was at \$2781. In 1875, Love is listed as the owner for the first time, and is taxed for \$400 in buildings and \$2780 for land. Thomas and Sallie Love owned the property for 6 years and in October 1878 they sold it to John D. DeBell for \$3000. In 1876, the land tax records reflect a slight increase in the value of the buildings on the parcel to \$460 and a decrease in the value of the land to \$2319. A note says "Aggt Corrected," which might mean "Aggregate Corrected" suggesting that the value of the parcel was adjusted without any improvements being made. As this was the only parcel owned by Love in the land tax records and the house is shown marked "Thos. Love" on the 1879 Hopkins Map, it would appear that he resided in the house on the property.

The family history has always maintained that when John D. DeBell acquired the property there was a two-story log dwelling already standing and he added the front frame section of the house shortly after acquiring it. This doesn't seem to exactly be borne out by the land tax records or the physical evidence, but a dwelling was certainly standing on the property when he acquired it. The land tax records show a steady value of the buildings on the property, at \$460, from 1879, the first year he is taxed on the parcel, to 1884. In 1885, the building value ticks up slightly to \$600. Sometime in the 1890s it goes up again to \$695 and DeBell acquires another large parcel of land – 278 acres, evidently with no standing buildings (located on the north side of Warrenton/Fauquier Turnpike/Rt. 29/Lee Highway). In 1904, the value of the buildings on the original 231 acres increases dramatically, from \$695 in 1903 to \$1275 in 1904. A note in the "explanation of alterations" column says simply "Improvements." The value went up again in 1906 to \$2040 (no accompanying note explained the change) suggesting that perhaps the improvements were of such a scale that they took several years to fully complete. The "Architectural Analysis" section of this report offers a hypothesis about which parts of the building were added when.

John Daniel DeBell lived prior to the Civil War on the farm known as "Golden Grove" in the Chantilly area and he served in the Confederate army during the War. He married Nancy Wise DeBell and their first child was born in September 1856; they went on to have 12 more over the next 30 years, the youngest, Tillie Louise, was born October 19, 1886. Following the War, he ran a general store on Main Street in Centreville; it is marked on the 1879 Hopkins Map. It is during his ownership that the 231-acre parcel was first known as "Sunnyside Farm." DeBell was a successful farmer and served on the Fairfax County Electoral Board for several years in the first decade of the 1900s; he resigned from the Board in 1908. In 1910, John D. DeBell passed away in March due to pneumonia at the age of 80 - "Mr. DeBell was in every sense a good and useful citizen."⁴⁷

Following the passing of his father, in 1912 John Thomas DeBell (born January 16, 1867) returned to Fairfax County from Mexico, where he had been working as an engineer, and became the new owner of Sunnyside Farm. A small news blurb in the Fairfax Herald on November 10, 1916 noted, "The extensive addition to Mr. John T. DeBell's residence is nearly completed." Based on the family history and the physical evidence, this addition is believed to consist of the rear-most portion of the rear ell with the kitchen and the two bedrooms and bathroom above. Oddly enough, this substantial addition did not result in an increase in the assessed value of the buildings on the farm – they were assessed at \$3060 when John T. DeBell inherited the property in 1911 and remained at that same value until 1921 when

⁴⁷ "Death of Mr. John D. DeBell."

the building value decreased to \$2500. DeBell decided to convert the farm into a dairy farm in the 1920s - in June 1926, the Fairfax Herald mentioned that "Mr. J.T. DeBell is building a dairy on his farm," and in February 1927 it noted the recent construction of a new barn on the farm (Figure 10). John T. DeBell was active in civic affairs, serving on the Fairfax County School Board for a number of years. He married Mary Turberville following his return to Fairfax County and they had three children, Stuart DeBell, John DeBell, Jr., and Mary Thornton DeBell. John T. DeBell died March 1, 1946 at the age of 79 following a stroke. His obituary described him as a "prominent dairy farmer."⁴⁸



Figure 10. Sunnyside Farm, ca. 1959. House is not visible, located in the cluster of trees in the center of the photo. Photo courtesy of John DeBell.

Following his father's death, Stuart DeBell and his wife, Mildred, took over running the farm. According to Mildred's account, the years during World War II were particularly hard because all the men went to fight and it was difficult to find farm laborers. At one point, German POWs came to work on the farm and helped to build a silo. Stuart and his wife and mother struggled to keep the farm going after the war – labor continued to be in short supply, the dairying industry was changing and profits were decreasing – and in 1957 they made the decision to sell the cattle and farm equipment. The death of Mary Turberville DeBell shortly thereafter necessitated the sale of much of the acreage of the farm, but the acreage around the Sunnyside house and outbuildings was retained in the family. In the early 1960s Interstate 66 was being constructed just to the west of the Sunnyside house and in 1968, the family decided to hire house mover William "Buck" Patram to move the house. They found a new location

⁴⁸ DeBell, John Thomas, Obituary.

southwest of the original site about 1 mile and moved the house and two former corn cribs to a 3-acre parcel in a still-rural area.

William Bernard “Buck” Patram (7/21/1928 – 2/22/2022) owned a house moving company, William B. Patram, Inc. Mildred DeBell’s account suggests that Patram was from Richmond and was in Fairfax in the mid-1960s to move houses that were going to be impacted by the construction of I-66 and that was how he came to their attention. Efforts to determine which other buildings in Fairfax he may have moved at that time have been unsuccessful. Patram was living in Fairfax by 1987 and at the time of his death in 2022, the International Association of Structural Movers called him “one of the industry’s legendary movers.”

Stuart DeBell was an accountant and worked in insurance and real estate for many years; he was elected to the Fairfax County Board of Supervisors in 1951 and served for 16 years. He died in April 1980 of a heart attack. His widow, Mildred, continued to live at Sunnyside until her death in 2020, two months shy of her 102nd birthday (Figure 11). She hosted family reunions at the house and was active in promoting the significant history of Fairfax County.

Following her death, the Sunnyside house was sold out of the family. For the last couple of years, the basement level has been used as a church meeting space while the upper floors are unoccupied.



Figure 11. Mildred DeBell, ca. 2019, shown in the east front room at Sunnyside, with the chimney and mantel that are now missing, and with photos showing the original location of the house (on the right) and the current location (on the left). Photo courtesy of John DeBell.

Research Design

Objective

This survey was designed to satisfy the request by the Fairfax County Department of Planning and Zoning for a Phase II survey of the property. The objective of a Phase II survey, also known as an intensive-level survey, is to determine a resource's eligibility for listing on the National Register and Virginia Landmarks Register. It is not necessarily a complete property history, nor is it measured drawings for every room; instead, it requires a combination of property specific research and architectural analysis in order to obtain sufficient information to apply the National Register criteria and make an educated recommendation about eligibility. The Sunnyside House was surveyed at the Phase I level (also known as the Reconnaissance level) in 2017 as part of a road widening project along Route 28. But, as Reconnaissance level survey does not include any property specific research or interior documentation, the house was erroneously assigned a construction date of ca. 1925. One important objective of this project was to correct the existing VCRIS record on the property to include more complete and accurate information.

Methodology

The survey area was defined as the tax parcel where the house presently stands, and the Sunnyside House is currently the only building on the property. The exterior of the building was photographed from multiple angles and distances, and photographs were taken of the immediately adjacent parcels to give a sense of the setting. More time was spent on the interior of the building, where the removal of a chimney has provided several windows into the physical structure of the building. It was determined that the entire basement level (all of which dated to the 1968 relocation of the house) had been completely renovated in the last four years, so only a couple representative photos were taken of this area. The first and second floors, however, still contained historic trim and flooring and plaster, and several openings in the walls provided visibility of the framing. A hatch to the attic also provided a view of the roof structure. Overall interior measurements were taken, and floorplans of the first and second floors were sketched. Numerous photographs, of both overall rooms and detail shots of trim and hardware, were taken.

Survey Findings

The survey documented a single building known as the Sunnyside House (DHR #029-6264)(Figure 12). The dwelling was moved to its current location in 1968 and a DeBell family member has offered numerous family papers that recount the evolution of the building both before and after that date. This family story about how the dwelling evolved was used to guide the documentation efforts. According to the family, the log portion of the dwelling, which comprises a portion of the rear ell, was the original dwelling on the property and was standing at the time that John D. DeBell purchased the property in 1878. One of the objectives of the surveyor was to determine if there was any physical evidence to support this story and if there was any physical evidence that could narrow down the date of construction. As so often happens, the physical evidence paints a complicated picture. The building is described below as it appears today. Following the description of the current exterior and interior of the dwelling, there are sections that offer an architectural analysis of the evidence and propose a construction chronology based on that analysis. Finally, the integrity of the dwelling is analyzed against the seven aspects of integrity used by the National Register.



Figure 12. Sunnyside House, northwest oblique, May 2023. Photo by the author.

Site Description

The house is located on the south side of Old Centreville Road and is accessed by a horseshoe-shaped wide, gravel driveway. The house, which faces the road, is set back about 50-75 feet. A grassy area in the middle of the horseshoe holds four large shrubs and a circular, overgrown planting bed. Small rock-edged landscaping beds flank a short brick walkway which leads from the driveway to the front porch steps. A wide concrete path leads from the driveway past the east side of the house and down a gentle slope to a large concrete patio located on the east side of the house. The walk-out basement opens onto this patio which is edged by low brick walls. A large, rock-edged landscaping bed is located along the foundation of the house on the east side. Most of the property is open lawn. Trees line the edges of the parcel on the east and west sides but the south (rear) side, which abuts Route 28/Centreville Road, is open. There are no secondary resources associated with this property.

Exterior Description

The Sunnyside House is a two-story, five-bay, single-pile, frame dwelling with a side gabled roof with a two-story frame and log rear ell capped by a hipped roof (Figure 13). The entire house rests on a raised brick foundation which dates to 1968 when the house was relocated to the current parcel. The walls are clad in aluminum siding and there are applied aluminum shutters flanking the windows and front door. The windows themselves are all two-over-two double-hung wood sash. The roof is standing seam metal. There are several chimneys dating to different times. The oldest is the remains of a narrow brick exterior chimney located on the back (south) wall of the front section of the house. The top portion has been dismantled to below the roof but the stack remains on the back wall of the house (Figure 14). Another exterior brick chimney is located on the east side elevation, towards the rear of the rear ell.

This massive chimney was added in 1965 and moved with the house. Another brick exterior chimney is located on the west side of the rear ell and serves the furnace. It may date to the time of the move in 1968. The oldest chimney used to be located on the wall between the front, side-gabled, section of the house and the rear ell, but it was demolished in 2020.



Figure 13. Sunnyside House, façade. May 2023. Photo by the author.



Figure 14. Sunnyside House, southwest oblique. May 2023. Photo by the author.

The symmetrical façade is the north elevation of the house and it is five bays wide with a central entrance. The top two panels of the four-panel front door have arched tops (Figure 15). A two-light transom is located above the door. The two-over-two windows, which are vertically aligned, have peaked lintels (Figure 16). A wrap-around front porch covers four-fifths of the façade and wraps around the east elevation of the house. The porch rests on a tall brick foundation and has Doric columns supporting a hipped roof. The railing has turned balusters. A wooden staircase with five risers is centered in front of the door. According to a family chronology, this porch was substantially rebuilt (with new sills and plates and columns) in 1994.



Figure 15. Front door. May 2023. Photo by the author.



Figure 16. Exterior view of window on the façade. May 2023. Photo by the author

Both side elevations of the side-gabled front section feature cornice returns in the gables. There is a one-story three-sided bay window on the first story of the west side elevation, while the east side elevation features two, two-over-two windows on each story.

The rear ell is four bays deep. The two bays closest to the front section of the house represent the portion of the house with log walls, while the rear-most two bays represent the 1916 kitchen and bedroom addition. On the east elevation, a squared off bay window holding a bank of three windows is located on the first story of the log section of the house (Figure 17). This bay window is supported by a brick bump-out in the foundation, which dates to 1968, suggesting that the entire bay window may date to this time as well. The bank of windows consists of three, two-over-two wood windows. The two windows on the second story of the log section match those found in the front section of the house – two-over-two double-hung wood sash with peaked lintels. The basement level is fully above ground in this area and there is a double-leaf entrance in the basement level below the bay window consisting of a pair of 6-panel steel doors that open onto a brick patio. The east elevation of the kitchen addition features a multi-light fixed vinyl window in the basement level, a picture window on the first story, and a two-over-two window on the second, with the aforementioned massive exterior brick chimney taking up the rest of the elevation.



Figure 17. Sunnyside House, east elevation. May 2023. Photo by the author.

The rear elevation of the rear ell features a walk-out basement level with a door, two large, fixed, multi-light windows and a pair of six-over-six windows (Figure 18). On the first story there are two two-light sliding windows close to the east corner and the rest of the first story is covered by an enclosed porch. The second story of the rear ell has two more two-over-two windows. The enclosed rear porch stands on wood posts and is open beneath. The porch itself is enclosed with jalousie windows and has a hipped roof and wraps around the west side of the house.



Figure 18. Sunnyside House, southeast oblique. May 2023. Photo by the author.

The west side elevation showcases several enclosed porches. The enclosed rear porch wraps around this elevation and covers the entire first story of the kitchen addition. It butts up against another enclosed porch that conceals the first story of the log section of the house. This enclosed side porch has a shed roof and a bank of three, six-over-six wood windows. A small, shed-roofed bump out off of this porch accommodates a bathroom addition, which covers the first story of the rear elevation of the front section of the house.

Interior Description

The front entrance opens into a wide center hallway that extends through the front, frame section of the house into the log section behind it (Figure 19). The straight-run stair is located towards the back of the hall along the west wall and extends from the frame section into the log section of the house. The newel post is fat and heavily turned; turned balusters are two to a stair and support the molded handrail (Figure 20). There is no upper newel; the rail curves gracefully a full 180 degrees at the top of the stair and then wraps around to enclose the stairwell (Figure 21). The front part of the main hall has wood floors with floorboards that average 4" in width and run north-south (front-to-back). A seam in the flooring bisects the hall from side to side and marks the transition from frame to log sections (see Figures 19 and 20). In the portion of the main hall in the log section of the house, the wood floorboards are of variable widths averaging between 5" and 7" and run side-to-side. The front section of the hall, in the frame portion of the house, has tall molded baseboards, chair rail, and crown molding. There is no chair rail or crown molding in the rear portion of the hall (in the log section), though baseboards continue. There are two doorways, located opposite each other, leading into the two first floor rooms in the frame section of the house. These doorways are edged with wide heavily molded architrave trim and the doors themselves consist of four wooden panels, with the top two panels taller than the bottom two (Figure 22).



Figure 19. Front hall from the front door, looking towards rear of house. May 2023. Photo by the author.



Figure 20. Looking from rear hall into front hall. May 2023. Photo by the author.



Figure 21. Main stair, looking down from rear hall. May 2023. Photo by the author.



Figure 22. First floor, door trim in front hall. May 2023. Photo by the author.

The door to the right, on the west end of the house, leads to a large parlor with molded baseboards and crown molding (Figure 23). This room is filled with natural light from two windows on the front wall and the three-sided bay window on the west end of the room (Figure 24). This room also has a surviving early mantel on the back (south) wall of the room (Figure 25). There is no hearth, so it must have been originally designed to serve a stove. The wooden mantel borrows from the Victorian style with pilasters with chamfered corners adorned with tall, applied panels with arched tops. The wide frieze features a central, applied bulls eye surrounded by raised molded panels with curving edges. The curving mantel shelf is supported by brackets with scalloped edges and smaller bulls eye motifs. A doorway on the back wall of this room beside the mantel leads to the enclosed side porch. This doorway is edged with simpler architrave molding.



Figure 23. First floor, west front room, looking at rear wall. Door connects to enclosed side porch. May 2023. Photo by the author.



Figure 24. First floor, west front room, west side wall with bay window. May 2023. Photo by the author.



Figure 25. Mantel, west front room. May 2023. Photo by the author.

From the front hall, the door to the left leads to the room on the east end of the house. This room is simpler than the other front room in that it lacks any crown molding or a bay window but is otherwise similar. It has two windows on the front wall and two on the side, providing the space with ample light (Figure 26). Old wood floors vary from 3"-4". On the rear (south) wall of the room is a large hole where a chimney used to be (Figure 27). This chimney was removed in 2020 but, as the house has been vacant, the resulting hole was left open. A sizeable hole in the floor marks the location of a large hearth and this is patched with plywood. The hole in the wall reveals the logs of the log section of the house to the rear and it also reveals that the chimney was entirely interior to the frame section of the house (Figure 28). A doorway beside the former chimney location leads from this front room into the log section of the house (a room most recently used as a dining room).



Figure 26. First floor, east front room, looking at front wall. May 2023. Photo by the author.



Figure 27. First floor, east front room, rear wall where stone chimney used to be. May 2023. Photo by the author.



Figure 28. First floor, east front room, rear wall where chimney was removed. May 2023. Photo by the author.

The dining room is located entirely in the log section of the house. A bay window is located on the east wall and holds a bank of three, two-over-two windows (Figure 29). There is a door leading to the kitchen on the rear (south) wall of the room and a door leading into the hallway on the east side of the room (Figure 30). The dining room appears to have been redecorated, possibly in 1965 when family recollections suggest that the house received a “complete remodel.” The wood floorboards appear to be laid over top of an earlier floor; the current ones measure 3 ¼”. Wainscotting with wide vertical boards topped by a chair rail appears to have been added at this time, and a family descendent remembers cutting the hole for the door that connected the dining room with the kitchen when he was a child (this may have been earlier than 1965). There is currently a hole in the north wall of the room, where it abuts the frame section of the house, and the logs and some studs are exposed (Figure 31). There is no evidence that the chimney that was formerly in this location ever served a fireplace in this room – there is no evidence of a hearth and there is no break in the logs to suggest they framed a fireplace. A descendent remembers that there was a large stove sitting in the dining room and venting into the now-missing chimney before the electric baseboard heat was installed. The hole in the wall also reveals that there is a large gap in the logs in the area that used to abut the chimney. This gap is spanned by two vertical studs that are toenailed into the logs above and below them with cut nails with cut heads. The gap is about 3’ tall and extends the full width of the former chimney location. This opening in the wall also reveals that the wainscotting is installed over the top of plaster on sawn, wooden lath and there is an earlier baseboard (simple, with a bead along the top) still present. The lath and baseboard are nailed to vertical furring strips that are attached to the logs.



Figure 29. First floor, dining room (log section), looking at east wall. May 2023. Photo by the author.



Figure 30. First floor, dining room (log section), looking at west (partition) wall. Doorway on left connects to kitchen, doorway on right connects to the front room, and the one in the center connects to the rear hall. May 2023. Photo by the author.



Figure 31. First floor, dining room (log section), looking at wall between log and frame sections. May 2023. Photo by the author.

The three doors and doorways in this room are slightly different. The doorways leading from the dining room into the front room and the dining room into the kitchen are about 12" deep, suggesting that these walls are both log, while the doorway leading from the dining room into the hall is shallower, suggesting a frame partition wall. The trim around the doorways is also different. The trim around the door to the front room is molded architrave trim that matches that found in the two front rooms and front hall. The trim on the doorway to the hall features a narrow bead around the inner edge and an elongated ogee backband with a flat, double architrave in between. This same trim is found on the dining room side of the doorway from the dining room to the kitchen. The three doors in the dining room are similar in that all are four-panel doors, but the door to the front room has different proportions, with narrow stiles and rails and taller panels (see Figure 30). The panels are also molded, while the other two doors, which match, have wider center rails and wider panels that are raised but unmolded.

The door on the back wall of the dining room opens into the kitchen (Figure 32). This kitchen, along with the bathroom and bedrooms above it, were added around 1916. The kitchen was extensively remodeled in 1965, just before the house was moved, and its appearance now dates to this period – linoleum flooring, faux wood beams across the ceiling, wood cabinets with flush doors, exposed brick wall with fireplace and wall ovens, and a back stairway with a curving wrought iron handrail (Figure 33). The large kitchen spans the full width of the log section of the house with doorways to both the dining room and the hall, as well as the enclosed back porch and side porch.



Figure 32. First floor, rear addition, kitchen, looking at southeast corner. May 2023. Photo by the author.



Figure 33. First floor, rear addition, kitchen, looking at west wall and rear stair. Doorway on the right connects to the dining room, the one beside it connects to the rear hall. The doorway on the far left connects with a small enclosed rear porch with a stair down to the basement. May 2023. Photo by the author.

There are several enclosed porches on the rear and side of the house. The earliest is a side porch that is accessible from a doorway off of the west wall of the log section of the house (in the hall behind the existing stair) and a doorway off of the rear (south) wall of the parlor (Figures 34 and 35). This space was originally an exterior porch, as evidenced by surviving weatherboards in the attic space and beneath later drywall beside the door from the hall (Figure 36). Old beadboard is located on the walls beside the

door from the parlor, beneath later drywall (Figure 37). A hole in the ceiling in this space provides visibility up into the small area above the ceiling and below the roof where it is possible to see the corner where the log section of the house and frame section of the house meet (Figure 38). Both sections are clad with identical weatherboards with a 4" reveal. These weatherboards match those found beside the door from the hall – the plain, unbeaded weatherboards are held in place by cut nails with machine cut heads. A very small hole in the basement ceiling provides a small glimpse of the framing below this porch, which seems to suggest that at least one of the sills is a hewn log (Figures 40 and 41). The date of this earliest side porch isn't clear. With log sills, it could be contemporary with the log section of the house or it could have been added slightly later. The family history suggests that it was enclosed for the first time in the 1930s or earlier.



Figure 34. First floor, enclosed side porch, looking into front west room on the right. Area of exposed beadboard shown beside door (see detail below). May 2023. Photo by the author.



Figure 35. First floor, enclosed side porch, looking at rear wall and doorway connecting to rear hall in log section. Area of exposed weatherboard siding is shown beside the doorway. May 2023. Photo by the author.



Figure 36. First floor, enclosed side porch, exposed weatherboard siding on former exterior west wall. Location shown in previous figure. May 2023. Photo by the author.



Figure 37. First floor, enclosed side porch, beadboard on wall beside chimney. Location shown in Figure 34. May 2023. Photo by the author.



Figure 38. Space above enclosed side porch, looking at the corner where the frame and log sections of the house meet. Weatherboard siding on both walls. May 2023. Photo by the author.



Figure 39. First floor, threshold between enclosed porch and rear hall (log section). May 2023. Photo by the author.



Figure 40. Basement, below the enclosed side porch. This hole in the drywall is the only place where the framing of the house is visible from below. This heavy, hewn beam supports the enclosed side porch. May 2023. Photo by the author.



Figure 41. Basement, below enclosed side porch. Looking the other way through the same hole shown in the previous photo. This hewn joist is notched into the beam shown in the previous photo and supports the enclosed side porch. May 2023. Photo by the author.

On the second floor, the log section is divided the same as it is on the first floor, with a hall where the stair descends and a bedroom beside it. The partition between these spaces is stacked above the one on the first floor. This hall connects, with a step up, with a transverse hall that runs the width of the frame section of the house where three additional bedrooms and a large walk-in closet are located. The only bathroom is located on the second floor of the rear kitchen addition and is accessible via a door in the rear wall of the hall in the log section and from a small bedroom located to the rear, where the back stair ascends. There is one additional bedroom on the second floor of this kitchen addition, which is accessible through the bedrooms on either side of it – the other one in the kitchen addition and the large one in the log section of the house.

The hall in the log portion of the house, where the main stair ascends, extends the full depth of the log section (Figures 42 and 43). The blind-nailed floorboards run east-west and vary between 4" and 6" wide. There are three doorways leading from this space and all three have different door trim. The doorway leading from the hall to the bedroom features architrave molding with an inner bead and an outer ogee backband with a fillet – this appears to be identical to the trim on the hall side of the doorways from the downstairs hall into the kitchen and the downstairs hall into the enclosed side porch (Figure 44). The door itself is a four-panel door which also appears to match those found in the log section of the house on the first floor. The trim around the doorway from the upstairs hall in the log section to the upstairs hall in the frame section features trim at the sides of the door frame only (the top of the doorway is the ceiling) which matches the door trim found in the front frame section of the house. The doorway leading from the log section into the bathroom in the rear addition has wide, unmolded wooden trim, which is also found on the single window in this space and throughout the second story of the rear addition.



Figure 42. Second floor, rear hall (log section), looking at doorway between log and frame sections, on the left, and doorway between hall and bedroom, on the right. May 2023. Photo by the author.



Figure 43. Second floor, rear hall (log section), looking at doorway between log section and rear addition. May 2023. Photo by the author.



Figure 44. Second floor, rear hall, detail of baseboard and door trim on partition wall in log section. May 2023. Photo by the author.

The bedroom on the second floor of the log section of the house is the same size as the dining room below. The wallpaper and plaster have been removed in a couple different locations in this room. First, the opening in the wall where the chimney used to be continues through the second floor, so it is possible to see through the framing into the frame part of the house (Figure 45). This opening reveals a significant lack of log construction in this location – two stacked, horizontal logs are visible at the base of the wall and another log is visible at the top of the wall but in between these logs are connected with vertical studs that are toenailed into the logs with cut nails with cut heads (Figure 46). Viewed from the adjacent bedroom in the frame portion of the house, five hewn horizontal logs are visible between the top of the gap at the first floor level and the bottom of the gap at the second floor level, and two horizontal logs are visible above the gap at the second floor level (Figures 47 and 48). The walls in the bedroom in the log section of the house are plastered with sawn lath that is affixed to vertical furring strips (affixed to the logs beneath where present) with cut nails. The flooring reveals the ghost of a mantel located where the chimney used to be, but no indication of any hearth (Figure 49). The other opening in the plaster is on the east (exterior) wall of the bedroom (Figure 50). This opening reveals log construction with hewn, horizontal logs with wide, variable gaps between them (Figure 51). There is no chinking present. There is a doorway on the back wall of this bedroom that connects it with the largest bedroom in the rear kitchen addition. This doorway is trimmed out with the same wide, plain wood trim found in the rear addition and the door is a bifold (closet-type) door.



Figure 45. Second floor, bedroom above dining room (log section). Looking at the wall between frame and log sections where the chimney used to be. May 2023. Photo by the author.



Figure 46. Second floor, bedroom above dining room (log section), looking at the wall between log and frame sections where the chimney was removed. May 2023. Photo by the author.



Figure 47. Second floor, looking down where the stone chimney used to be. May 2023. Photo by the author.



Figure 48. Second floor, looking through the wall where the stone chimney used to be from frame section into log section. May 2023. Photo by the author.



Figure 49. Second floor, bedroom above the dining room (log section). Looking at the ghosts on the floor of a former mantel and the logs in the wall indicating there was not a fireplace in this location. May 2023. Photo by the author.



Figure 50. Second floor, bedroom above dining room (log section), looking at east (exterior) wall and doorway to the rear addition. May 2023. Photo by the author.



Figure 51. Second floor, bedroom above dining room (log section), detail of exposed logs in east wall. May 2023. Photo by the author.

The front, frame part of the house has three bedrooms and a large walk-in closet that all open off of the transverse hall that runs from side-to-side through this section of the house (Figures 52-56). Evidence suggests that there used to be four bedrooms opening off the hall but the space was reconfigured to expand and add a closet in the west-most room and this resulted in one of the other bedrooms losing its window and becoming more of a storage space. The flooring in this part of the house runs east-west and is blind-nailed tongue-and-groove flooring with boards between 3 ½" and 4" wide. The three existing rooms all have molded baseboards and door and window trim that matches what is found on the first floor of the front frame section. Closets flanking the (now removed) chimney in the east corner room have doors consisting of five horizontal panels and wide, flat trim and were probably added at the same time as the rear kitchen addition (see Figure 54).



Figure 52. Second floor, hall in frame section, looking into east room. May 2023. Photo by the author.



Figure 53. Second floor, east front bedroom, looking at front wall. May 2023. Photo by the author.



Figure 54. Second floor, east front room, looking at rear wall and removed chimney. May 2023. Photo by the author.



Figure 55. Second floor, front middle bedroom, looking at from wall. May 2023. Photo by the author.



Figure 56. Second floor, front west bedroom, looking at the front wall. May 2023. Photo by the author.

The second story of the rear kitchen addition has the only full bathroom in the house and two bedrooms. The bathroom has two doorways, one connecting with the hall in the log section of the house and one connecting to the smaller of the two bedrooms in the addition. This smaller room is also where the back stair from the kitchen ascends, making it less a bedroom and more a small hallway (Figure 57). Both bedrooms have molded baseboards and door and window trim that is wide and flat. The larger of the two bedrooms in the addition has a closet with bifold doors and a fireplace with a raised brick hearth (Figure 58). This fireplace dates to 1965 when the associated large brick chimney was added. Interestingly, the door between the two bedrooms appears to be an old reused four-panel door that was previously used on an exterior doorway (based on the wear and extensive weathering on one side) (Figure 59).



Figure 57. Second floor, rear addition, bedroom with rear stair. May 2023. Photo by the author.



Figure 58. Second floor, rear addition, bedroom above kitchen. Looking at rear wall. May 2023. Photo by the author.



Figure 59. Second floor, rear addition, doorway between bedrooms above kitchen. Reused historic door with extensive wear. May 2023. Photo by the author.

In the ceiling of the bedroom in the log portion of the house there is a hatch that provides access into the attic space; additional access to the attic space is also available where the chimney was removed. The attic shows no evidence of ever being usable space – there is no flooring and low headroom. It does show evidence of at least three different building campaigns. (Due to a lack of flooring and safety concerns, the attic was not fully explored. The west half of the front frame section was not visible from either access point.) Hewn log plates are visible along three of four sides of the log section of the house (the west side wasn't visible from the access hatch). Sawn joists run north-south. Rafters, on the other hand, run east-west (Figure 60). In order to make this structurally sound, faux joist ends were sistered onto the sides of the end joists, creating a false plate for the rafters to rest on along the east and west sides of the building (Figures 61 and 62). The rafters are pole rafters – half-round logs with the bark removed that butt together at the ridge with no ridgeboard (Figure 63). The attic space above the kitchen addition isn't clearly visible but it appears to have circular sawn rafters and be divided from the attic space above the log section by the vertical studs that formed the gable end before the kitchen addition was made.



Figure 60. Attic, above log section, looking at rear slope of frame section roof. Hole where rafter is cut in the center of the image is where the stone chimney used to be. May 2023. Photo by the author.



Figure 61. Attic, above log section, looking west from hatch near east wall. Note the joists running north south (across the picture in the foreground) and the roof rafters running east-west. The outriggers constructed to carry the ends of the rafters are visible towards the middle of the image. May 2023. Photo by the author.



Figure 62. Attic above log section, looking at board false plate and rafter ends. May 2023. Photo by the author.



Figure 63. Attic above log section, looking up at ridge. May 2023. Photo by the author.

Evidence above the frame section suggests that it is actually a heavy timber framed structure with mortise and tenon joinery and pegged joints, at least in the area of the recently removed chimney. A plate with the tops of studs and posts that flanked the chimney mortised into it and pegged is visible (Figures 64 and 65). The rafters, however, are pole rafters, like those used in the log section of the house (Figure 66). They rest on a false plate – a sawn board that extends across the tops of extended ceiling joists (Figure 67). There is wood plank sheathing in some areas on the rear slope of the roof of the frame section of the house, even though it is now located beneath the overall roof structure (see Figure 60). This seems to suggest that at some point the rear slope of the roof of the frame section of the house was exposed to the elements and not covered by the roof of the rear wing. The ceiling joists of the frame section of the house also project beyond the top plate and into the space above the log section of the house, suggesting that there was no roof on the log section (or no log section at all?) when the existing roof of the frame section was first built (see Figure 65). Another building episode is represented by sawn rafters – like those used on the rear kitchen addition - which fill the space between the roof structure of the log section of the house and the roof structure of the frame section of the house, covering the formerly exposed rear slope of the frame section's roof (see Figure 67).



Figure 64. Attic, above log section looking at frame construction of the front frame section of the house. Horizontal beam is the top plate in the frame wall, notice the vertical beams mortised and pegged into it. May 2023. Photo by the author.



Figure 65. Attic, above log section looking at frame construction of the front frame section of the house. The horizontal beam in the center of the photo is the top plate of the frame section of the house, with vertical members mortised and pegged into it below. Just below that plate in the photo is the top log in the log wall that abuts the frame section of the house. Notice that this log has the remains of whitewash on one side, suggesting it is probably reused in this location. May 2023. Photo by the author.



Figure 66. Looking through the hole where the chimney used to be at the roof construction of the frame section of the house. May 2023. Photo by the author.



Figure 67. Attic, looking at the rear slope of the roof of the frame section of the house and the later roof that encloses it. Horizontal board is a board false plate supporting the ends of the pole rafters. May 2023. Photo by the author.

Today, the house rests on a full basement, which was constructed when the house was moved in 1968. The space is fully finished and drywalled so that none of the framing of the house is visible from below (Figure 68). There is one small hole in the ceiling at the base of the basement stairs which appears to show a round log joist tenoned into a large sawn beam. This area would be located below the earliest side porch. Unfortunately, this is the only location where the framing at the base of the building is visible.



Figure 68. Basement, renovated for church meeting area. May 2023. Photo by the author.

Architectural Analysis

As is so often the case, the story of the evolution of the Sunnyside house is far more complex than the house appears from the exterior. The challenge of the intensive-level survey is to use the physical evidence, documentary evidence, and oral history to illuminate that complexity enough to evaluate a property within the appropriate context and National Register criteria. Sometimes, not every question has an answer, and some things are destined to remain a mystery – due to the loss of physical evidence or the absence of documentary evidence or the fallible nature of human memory. In trying to tease out the evolution of Sunnyside two different types of evidence often seemed to contradict each other – the physical evidence and the oral history, for example, or the physical evidence and the documentary evidence. Or, sometimes, two different types of documentary evidence were contradictory. Below is a plausible explanation for the house as it appears today based on the evidence available to the surveyor in May 2023. It is organized by building period and estimated dates are assigned whenever possible. Emphasis is placed on explaining the evidence available today and not venturing too far into the land of conjecture and, where two different types of evidence were contradictory, we went with the least fallible option.

Period 1 – pre 1854

Based on the physical evidence, the house started life as a two-story heavy timber frame dwelling with an interior stone chimney, which is represented today by the northeast corner of the house. Although

the family and local history has always held that the Sunnyside house began life as a two-story log dwelling (now represented by the area of the dining room and adjacent hall and the bedroom directly above), the physical evidence does not support this. The framing of the front section of the house is not visible anywhere but where the chimney was removed and from one location near that removed chimney in the attic. But in those locations, it appears that the framing of the house in this area is heavy sawn beams utilizing pegged mortise and tenon joints, what is known as heavy timber frame or braced frame construction. The single horizontal plate of this section that is visible from the attic appears to have saw marks indicative of a pit saw. Posts are notched into this plate and pegged with large round wooden pegs. This construction envelops the former location of the stone chimney, and the fireplace openings in the chimney faced into the frame section of the house. But based on the visible evidence at this point in time, we do not know how large this frame dwelling was or what type of roof it had (the existing roof structure is later, see below).

The strongest evidence against the log part being the earliest part of the house is the treatment of the walls of the log pen where it used to abut the now missing chimney – the use of vertical studs in these areas on the first and second floors, instead of having a continuous wall of logs, suggests that the craftsmen building the log pen were constructing it up against an existing structure – namely, the stone chimney. Moreover, the absence of framed fireplace openings in the log walls where they formerly abutted the chimney is strong evidence that the chimney was not built to serve the log dwelling.

The date of pre-1854 is assigned to this building phase due to evidence from the land tax records combined with the physical evidence. According to the land tax records, in 1854 Joel Mann owned the 231 acre parcel where Sunnyside was eventually located and he was taxed for \$550 in buildings on that parcel. That value would have included all buildings on the property – the main house plus any secondary dwellings for enslaved workers, barns, kitchens, smokehouses, etc. Clearly then, a residence existed on the property in 1854. Tracing the taxes assessed on the parcel through history reveals that the value of buildings on the property never dropped below \$400 (in 1874 and 1875), meaning that a dwelling stood on that parcel when Joel Mann acquired it and remained there until it was moved in 1968. Unfortunately, as noted in the property history earlier, Mann acquired the property from A.S. Grigsby, who was taxed on 13 separate parcels in 1853, none of which was an exact match in the land tax records for the one owned by Mann in 1854. Grigsby may have subdivided a larger parcel and sold part of it to Mann, but additional research through the deed records would be necessary to determine that. The building technology visible around the missing chimney, namely the use of pit sawn beams and fine mortise and tenon joinery, could date to anytime prior to 1850. At this point in time, then, we can only say that the original portion of the Sunnyside house dates to before 1854.

[Period 2 – between Period 1 and 1854](#)

Sometime after the construction of the heavy timber frame dwelling and stone chimney, the log pen was added. We know this occurred after the construction of the chimney and frame section based on the physical evidence in the wall of the log pen adjacent to the chimney opening, described above. Based on the sections of the log walls visible at this point in time, the evidence suggests that holes were made into the adjacent chimney to vent stoves that were located in the current dining room and the bedroom above in the log section of the house. The ghost of a mantel is visible on the floor of the bedroom, while notches in a log and a corresponding header between the two studs on the first floor support this conclusion. Based on some evidence discussed in more detail below, we hypothesize that the log section was originally only 1 ½ stories tall. The existing roof framing is later, and the log

construction visible in the east wall on the second floor – especially the spaces between the logs, the lack of chinking, and the apparent evidence of whitewash on some logs but not others – would make sense with this hypothesis. Some of the trim in this section of the house appears to date to this period – specifically, the door and door surround from the rear hall to the kitchen, the door trim around the doorway from the rear hall to the enclosed side porch, and the trim around the doorway from the upstairs hall to the chamber above the dining room (Figures 69-71). The partition on both levels as well as the floorboards in the hall and upstairs chamber may also date to this period.



Figure 69. Door between rear hall (log section) and kitchen, view from rear hall. May 2023. Photo by the author.



Figure 70. First floor, door trim in rear hall (log section), looking into enclosed side porch. May 2023. Photo by the author.



Figure 71. Second floor, door trim around the inside of the doorway between the rear hall and the bedroom (log section). May 2023. Photo by the author.

The date for this phase of construction is unclear. Log construction is notoriously difficult to date. Because there is no increase in building value reflected in the tax records between 1854 and 1884, an addition during this period seems unlikely. The log construction, former stone foundation, visible cut nails, width of the floorboards, and molding profiles, taken as a whole, would seem to argue against a post-1884 construction date; therefore, we hypothesize that it was already present on the site when Mann was first assessed for the property in 1854.

Period 3 – ca. 1885

John D. DeBell and his wife were first taxed for the property they called Sunnyside in 1879, at which point the buildings on the property were valued at \$460. In 1885, that value increases to \$600. The physical evidence suggests that the roof on the frame portion of the house is later than the pre-1854 original date of construction – the technology used, namely pole rafters resting on a narrow board false plate (pole rafters are basically just logs left in the round with the bark removed and a section removed from one side to make a flat surface to attach sheathing)– is not contemporary with the level of craftsmanship exhibited in the framing below. This type of roof framing would not be expected until after the Civil War. Moreover, the evidence in the roof framing indicates that the rear (or south) slope of the roof of the frame section of the house which is now covered by the roof of the rear ell was at one point exposed to the elements – wood sheathing boards remain on some of these rafters. In addition, the false plate rests on extended joists that project into the attic space above the log section of the house. Basically, the roof of the frame section had to have been built before the log section was as tall as it is today. This physical evidence, combined with the bump in tax value in 1885, leads us to hypothesize that the existing roof was changed around 1885. Based on the evidence visible at this point in time, it is not possible to say what other changes may have also occurred when the roof was changed – was the frame section of the house expanded in some way? Why would the roof have been replaced? The small bump in value, however, would suggest that any addition to the house was not large. This mid-1880s date does align with the family history in that the family timeline suggests that ca. 1880 was a period of modification on the house.

Period 4 – ca. 1903

The family history suggests that major modifications to the house occurred between 1875 and 1880 and while the physical and documentary evidence doesn't necessarily support this, both do suggest a major period of construction about 20 years later. In 1903, the buildings on the Sunnyside property were assessed at a value of \$695. In 1904, they were assessed at \$1275 and a note in the "Explanation of alterations" column on the form says, "Improvements." The value jumped again in 1906 to \$2040, which may reflect significant improvements to the house over the course of several years (of course, it could also reflect the construction of multiple new agricultural buildings). In addition, the physical evidence strongly suggests that numerous aspects of the existing house could date to the 1890s or very early 1900s. We hypothesize that the frame section of the house was expanded to the west during this phase, if it hadn't been already. The narrow brick chimney stack on the rear elevation of the frame portion of the house, the associated mantel without a hearth in the parlor, the bay window on the west elevation, and the two-over-two windows throughout the house are all appropriate to this period, as is the main stair. The trim is consistent throughout the frame section of the house so perhaps a total update to this section occurred. We also hypothesize that the log section of the house was raised to its current two full stories at this point in time. The evidence in the east wall, which shows significant gaps between logs, no chinking, and apparent reuse of logs from other buildings or locations could be

explained by such an event. The odd construction of the roof – with the joists running north-south and the unusual outriggers constructed on the sides of the end joists to support the rafters, which run east-west, would date to this period. The pole rafters and cut nails are appropriate to a ca. 1900 date of construction.

Period 5 - 1916

John D. DeBell died in 1910 and his son, John T. DeBell returned to Virginia to take over the family farm. Soon after his return, he planned another major addition to the house at Sunnyside. In 1916, a local news blurb in the Fairfax Herald noted, “The extensive addition to Mr. John T. DeBell’s residence is nearly completed.” The family history also indicates that the two-story rear kitchen addition was completed around this time. The family history describes the addition as “a large kitchen with two rooms above. Also a back porch and wrap around front porch.” Prior to this addition, according to the family, the kitchen was located in a separate building behind the house. This addition is clearly legible in the physical evidence. The roof is constructed with circular sawn rafters rather than pole rafters, door and window trim is wide and flat. Wood flooring on the second floor is 2 ½” wide (flooring on the first floor of the addition is all covered by later linoleum).

Period 6 – 1930s

According to the family history, in the 1930s “part of the porch was enclosed for an additional room.” It seems likely that it was the enclosure of the side porch that was being referred to. The family history also suggests that plumbing and electricity were installed at this time, though it is assumed that some form of plumbing accompanied the construction of the kitchen addition in 1916. The full bathroom on the second floor may date to the 1930s.

Period 7 – 1965

The family chronology indicates that a “complete remodel” occurred in 1965. This included a total renovation of the kitchen including new cabinets and flooring and the construction of the massive brick chimney with fireplace and brick end wall in that space and the addition of the fireplace upstairs in the bedroom above. It also included the installation of baseboard heating, copper plumbing, storm windows, blown-in insulation, new fixtures, and total redecoration. The new flooring in the dining room (which appears to be laid over the original), along with the vertical board wainscoting in that space, probably dates to this period. If it had not been added earlier, it seems likely that the half-bath off of the enclosed side porch was added during this period as well.

Relocation – 1968

The house was moved in October 1968. According to the family, the house was moved in one piece with all of the furniture in place and pictures on the walls. On the new site, it was located on a full, finished basement with walk-out access to a new brick and concrete patio. Two outbuildings were moved with the main house (no longer present) and the three-acre site was fully fenced. Aluminum siding was installed over the existing wood siding, along with aluminum shutters flanking the windows. One chimney was closed (probably the exterior one for the single fireplace in the parlor). New well and septic were installed, along with new plumbing and electricity.

Post-relocation alterations

In the 1970s, the finished basement was turned into a separate apartment. In the 1980s, major renovations to the front porch resulted in the replacement of the old sills and flooring and the enclosure

of the back porch with jalousy windows. In the 1990s, the front porch was completely rebuilt with new columns, flooring, and support beams. According to the family account, repairs and modifications in the 2000s focused on repairs and in-kind replacements along with cosmetic alterations. Over the years, pieces of the property were sold off and the parcel with the house shrunk. At some point, the two outbuildings that had been moved from the farm were demolished. The area around the house developed and in 1994 VDOT built a park-and-ride just to the east at the end of Old Centreville Road.

Post 2020

The house was sold out of the DeBell family in 2019. The church that bought the property converted the basement into their worship space, but mostly closed off the rest of the house. At some point after they acquired it, they removed the early stone chimney.

Integrity Analysis

The National Register of Historic Places stipulates seven aspects of integrity that a building should be evaluated for when trying to determine eligibility – location, setting, design, workmanship, materials, feeling, and association. A property is said to retain integrity when it has the ability to convey its significance. It does not necessarily need to retain all seven aspects of integrity, and which aspects are the most important to retain will vary depending on why a property is significant.

As detailed above, the Sunnyside House exhibits evidence of multiple building periods and alterations, including a wholesale relocation in 1968. Because the house has been located on its current site for over 50 years, we can view that relocation as part of its historic evolution rather than a non-historic event. Therefore, we could argue that the house retains integrity of **location** to the post-1968 period of its history, even though it does not have integrity of location for the period before 1968. It does not, however, retain integrity of **setting**, because at both of its historic locations the house was sited in a rural area. In its original location it was the center of a large farm, and when it was relocated it was sited on a 3-acre parcel in a surrounding area that was largely rural. Today, the parcel has been reduced in size and the character of the surrounding area is decidedly suburban.

Per the National Register Bulletin, “Design is the combination of elements that create the form, plan, space, structure, and style of a property.” The floorplan of the Sunnyside House has not been significantly altered since the 1930s, and the overall exterior style and appearance of the building is also fairly intact to this period. The removal of the stone chimney is problematic, however, since it was an important early component of the house. The siting of the house post-relocation on a raised brick foundation with a walk-out finished basement also dramatically changed the appearance of the house, though it did occur more than 50 years ago and could be viewed as part of the historic evolution of the house. On the interior, the house retains important elements of design, including window and door trim to various periods, the main stair, the mantle in the west front room, flooring, and the structural system, which exhibits various modifications over time. Overall, the Sunnyside House retains integrity of **design** that reflects its evolution over time.

Workmanship is the evidence of the craftsmanship that went into constructing a building. The Sunnyside House retains integrity of **workmanship** in the structural system, where it exhibits both log, heavy timber frame, and balloon frame construction techniques. Workmanship is also evident in the surviving trim details around doors and windows and mantels and the main stair.

The integrity of materials is fairly straightforward – does the building retain the historic materials that were used in its construction. The Sunnyside House has diminished integrity of materials due to the loss of the stone foundation and cellar and the loss of the stone chimney. Aluminum siding also covers the historic weatherboard siding. But it does retain historic 2/2 wooden windows, historic standing seam metal roofing, historic framing, historic wooden flooring, plaster walls, and many elements of interior trim. Overall, the Sunnyside House retains moderate integrity of **materials**.

Integrity of feeling is the most subjective of the aspects of integrity and has to do with its ability to express a historic sense of a particular time – would a former resident recognize it and be able to orient themselves within it? With the exception of the loss of the stone chimney, the house has changed only minimally since 1968, and it still feels, particularly on the interior, like a historic house that exhibits evidence of alterations over time. However, the exterior character of the property has changed significantly with the change in the character of the setting and size of the parcel since the 1968 move and the feeling when outside the house is negatively impacted. Overall, then, the house has diminished integrity of **feeling** to the post 1968 period only.

Integrity of Association is the link between the property and a particular historic event or person. The Sunnyside House can be said to have integrity of **association** to the post-1968 period only, as it can no longer convey its association with the agricultural history of the area.

Recommendations

A detailed examination of the Sunnyside House has revealed a complicated evolution that spans nearly 175 years. Historic dwellings are not static artifacts; they grow and change with the families and individuals that occupy them. So, by studying how dwellings evolve over time, we can learn about both the small and large changes that occur within families and within local communities. The Sunnyside House is best understood as a type of primary source evidence that informs our understanding of the history of Fairfax County. The complicated and muddy early history of the house prior to the 1870s reflects the larger history of Fairfax County – declining farms purchased by land speculators and resold in the 1850s during a period of economic prosperity and later ravaged by War and bankruptcy. The small improvements to the house that seem to have been made during the late 19th century reflect the slow economic, agricultural, and social recovery during these years. The expansion of the house in the very early 1900s reflects the growing agricultural prosperity of the county as a whole and of the DeBell family after two decades of property stewardship. The subsequent large kitchen and bedroom addition in the 1910s reflects the family changes associated with the death of John D. DeBell and the return of his son, John T. DeBell, along with larger architectural trends that incorporated kitchens with indoor plumbing into main dwellings, rather than segregating them in a separate building. The relocation of the house in 1968 reflects the dramatic shift from an agricultural economy to one based on suburban growth and development that occurred in the County during the mid-20th century. The house was moved as a direct result of the construction of I-66 and the associated development pressure, illustrating the impact that these substantial transportation improvements had on the landscape of Fairfax County and one family's creative solution to preserve their family homeplace. The Sunnyside House provides tangible evidence of all of these historic threads woven through history books, tax records, and oral history.

Even though the house was removed from its original location in the center of a large farm in 1968, it was relocated to a site that remained rural in character. Today, the house sits at a figurative crossroads as the suburban development pressure that the DeBell family moved away from in 1968 has once again caught up with the Sunnyside House. Its rural character has eroded as it has acquired new neighbors in the form of a park-and-ride, a church, and a Montessori school, and the sound of the traffic roaring by on Route 28 is nearly constant. With its sale out of the control of the DeBell family, the house faces demolition as the new property owners desire to construct a new church building for their congregation. County staff need to weigh any historic value of the property against the desire of the new owners and other land use and zoning concerns.

This report provides a current overview of the house as it sits today, along with a summary of the property specific history and the local history. A historic context provides a framework through which to view the historical development of a property and understand why things happened the way they did and to evaluate relative significance. As the goal of a Phase II survey is to determine the eligibility of a resource for listing on the National Register of Historic Places (NRHP) and the Virginia Landmarks Register (VLR), the physical documentation and the historic research were completed with an eye toward this goal, rather than writing a complete property history. Some questions remain unanswered, and more research could be done by further studying the building itself, particularly the framing that currently remains out of view, and doing additional documentary research. But the information presented here is sufficient to make a recommendation about Register eligibility.

The NRHP is the official list of districts, sites, buildings, structures, and objects significant in American history, architecture, archaeology, engineering, and culture and is maintained by the National Park Service, U.S. Department of the Interior. The NRHP Criteria for Evaluation (36 CFR 60.4) divide the significance of properties into four areas (A-D). Resources may be eligible if they have important historical associations that are:

- A. Associated with events that have made a significant contribution to the broad patterns of our history; or
- B. Associated with the lives of persons significant in our past; or
- C. Embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant and distinguishable entity whose components may lack individual distinction; or
- D. Have yielded or may be likely to yield information important in prehistory or history.

The VLR is the Commonwealth's official list of places of historic, architectural, archaeological and/or cultural significance. This register is administered by the Department of Historic Resources on behalf of the Virginia Board of Historic Resources and has the same criteria and nomination process as the NRHP. For both Registers, an historic property has to meet at least one of the NRHP Criteria in at least one area of significance and it has to retain sufficient integrity to convey that significance.

The Sunnyside House is recommended eligible under Criterion A, in the area of Community Planning and Development, and under Criterion C, in the area of Architecture, at the local level with a Period of Significance of ca. 1840-1973. The dwelling retains integrity of location, design, materials, workmanship, feeling, and association, though some of these aspects of integrity are stronger than others and in some cases the house retains integrity to the post-1968 period only. The Sunnyside House is eligible under Criterion A in the area of Community Planning and Development because it reflects the shift in Fairfax County from a primarily rural, agricultural county to one that is nearly synonymous with suburban development. The fact that the Sunnyside House was moved away from the path of I-66 to a nearby area that was further from the main transportation corridors and remained rural in the 1960s is part of its significance. Many of Fairfax's old houses have been lost over the last 50 years, but because the Sunnyside House was moved, it remains to tell this story. The house is also eligible under Criterion C in the area of Architecture as an example of an evolved dwelling that exhibits multiple different building periods and technologies. As an example of the types of building craftsmanship that literally built Fairfax County over a period of 135 years, between 1840 and 1973, the Sunnyside House is also an endangered resource in Fairfax County due to the immense development pressure. The period of significance is intended to capture the construction of the earliest part of the house, which is definitely pre-1854, through the period of its relocation to its new site.

The Secretary of the Interior provides *Standards and Guidelines for the Treatment of Historic Properties*, acknowledging that, in order to remain functional, historic properties must often be changed. Looking at the Sunnyside House through the lens of these *Guidelines* provides ideas for how the house could continue to be a useful resource while still retaining its significance and eligibility. It would not be difficult to rehabilitate the house in accordance with the *Standards and Guidelines* if the end use would be the same – namely, a dwelling. Repairs, and in-kind replacements of elements that couldn't be

repaired, would result in a house with ample square footage. Strategic landscaping on the property would go a long way toward mitigating the sights and sounds of the encroaching suburban development.

However, the current owner is a church group and they desire to use the property not for a dwelling, but for a church. While they have renovated the basement of the house to use as their worship space for the last couple of years, the house is not well-suited to being converted to a church. The first and second floors of the building have been unused for several years and there would be no way to make the space useable for large groups to gather without removing interior walls and destroying the floorplan, and probably the structural stability of the dwelling. It is difficult to see how a rehabilitation that meets the *Standards and Guidelines* and also converts the building into a church is feasible.

Depending on the development constraints of the parcel as a whole, another option would be to rehabilitate the house as a dwelling, either for someone affiliated with the church or for individuals with housing insecurity being aided by the church (victims of domestic violence, individuals suffering from substance abuse disorder, disabled veterans, etc.), and build a new church building elsewhere on the parcel. Again, the degree to which this would be possible would depend on various development requirements.

Finally, if no other alternative can be found, the Sunnyside House could be moved again. If a suitable site could be located nearby in Fairfax County where the house could be relocated and rehabilitated to serve as a dwelling in accordance with the *Standards and Guidelines*, then the house would continue to be an example of an evolved dwelling exhibiting multiple different building technologies. The relocation of the house would be in keeping with its historic significance associated with planning and development, and the creative solutions to preserving history in the face of future development.

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Appendix: Plans

029-6264
Sunnyside House
6321 Old Centreville Rd.
Fairfax Co.
May 2023
NTS
Site Plan

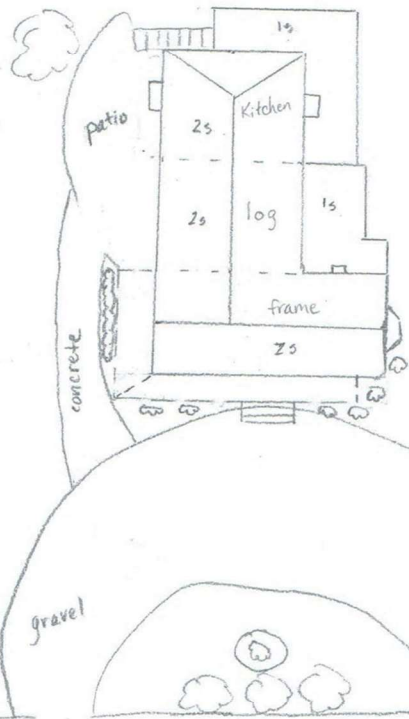


← Rt. 28

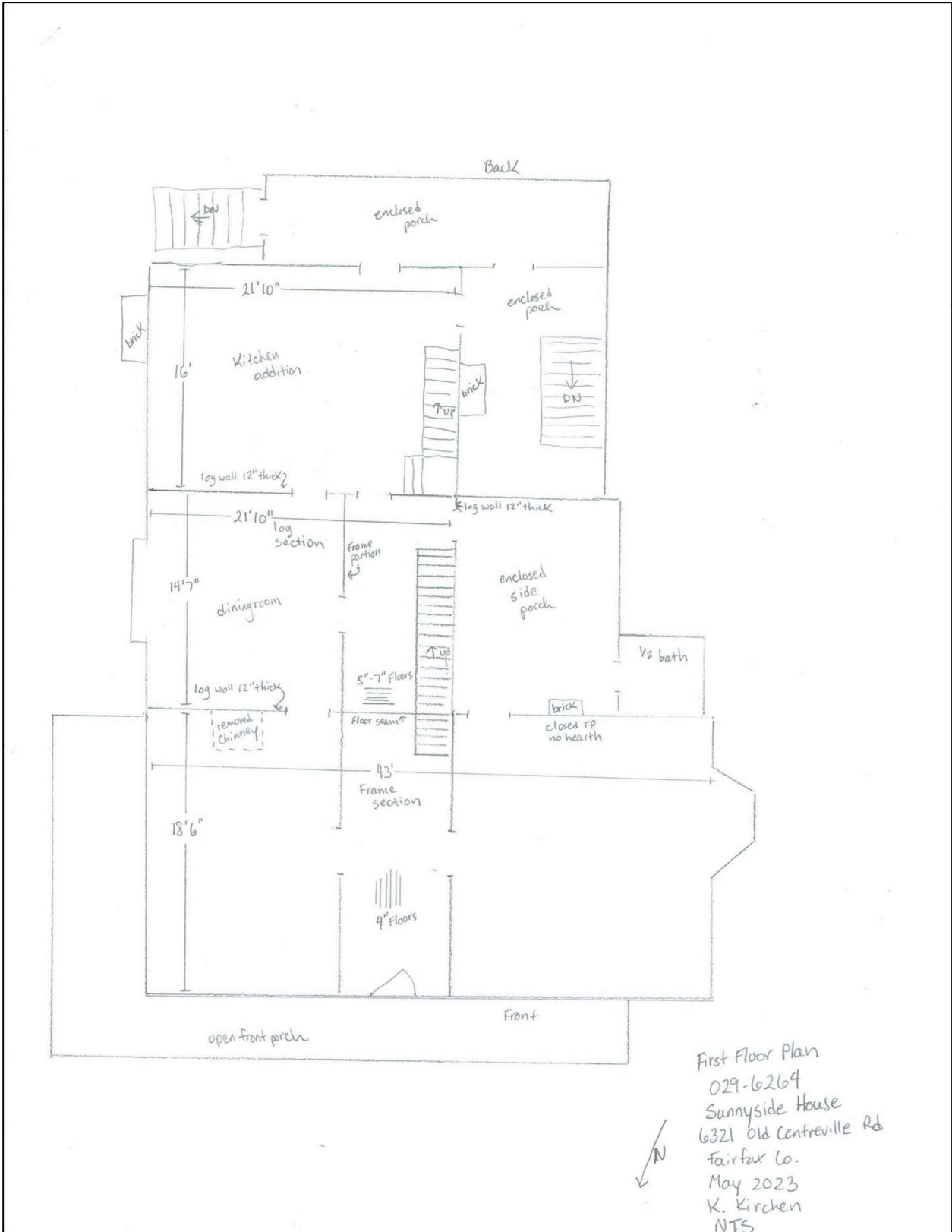
Rt. 28 →

Montessori
School

Church
picnic
pavilion

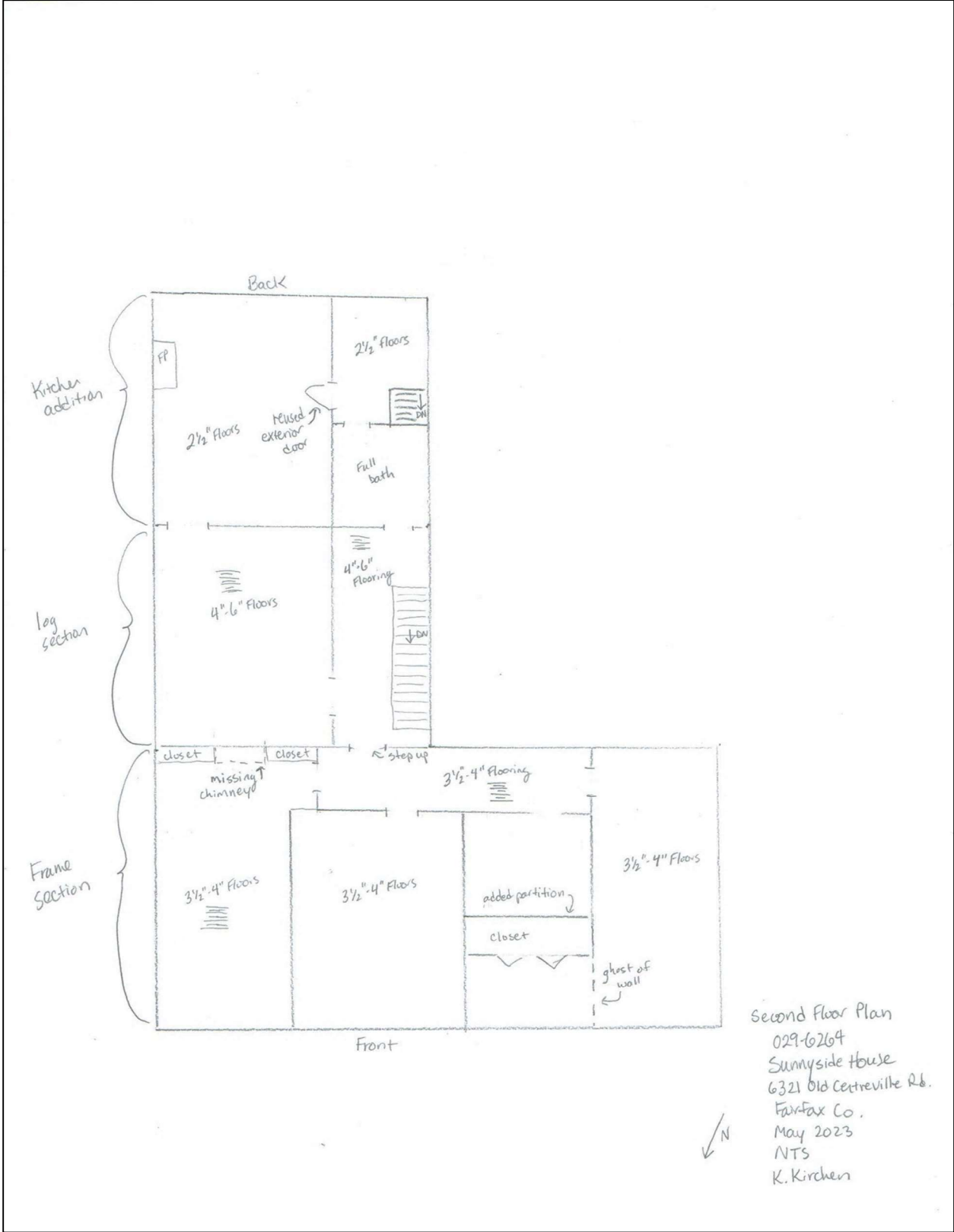


Old Centreville Road



First Floor Plan
 029-6264
 Sunnyside House
 6321 Old Centreville Rd
 Fairfax Co.
 May 2023
 K. Kirchen
 NTS





Second Floor Plan
 029-6264
 Sunnyside House
 6321 Old Centreville Rd.
 Fairfax Co.
 May 2023
 NTS
 K. Kirchen



MASTER LIST: FAIRFAX COUNTY INVENTORY OF HISTORIC SITES

Sorted by Supervisory Districts

As of October 2024

Status codes:	*	Indicates demolition of primary resource: potential intact archaeological components
	N	National Register of Historic Places
	V	Virginia Landmarks Register
	H	Historic Overlay District
	L	National Historic Landmark
	+	Added to the Inventory of Historic Sites by the History Commission, but not yet included in tables in the Comprehensive Plan. Currently, the Comprehensive Plan shows the Inventory as of February 8, 2018
	Red text	includes other revisions that are not yet reflected in the Comprehensive Plan. An underlined asterisk indicates revision to remove the asterisk in the next Comprehensive Plan update.

Braddock District				
Name	Status	Location	Parcel Number	Date
Church of the Good Shepherd		5070 Twinbrook Run Drive Fairfax	069-3 ((23)) 4	c. 1884-1888
Church of the Holy Spirit		8800 Braddock Road Annandale	070-3 ((1)) 5	1966
Fairfax Villa Community Park		East of Shirley Gate Road between Route 29 and Braddock Road	056-4 ((6)) A, 39, 40, 41, 42, 87A; 057-3 ((1)) 1, 2; 057-3 ((7)) A1	c. 5000 BCE – Early 20 th century
Little Zion Baptist Church and Cemetery		10018 Burke Lake Road Burke	077-4 ((1)) 14	1891
+National Bank of Fairfax Headquarters Building		5234 Rolling Road, Burke	0694 01 0041C	1971-1972
Oak Hill	N, V	4716 Wakefield Chapel Road Annandale	070-1 ((16)) 285	c. 1790
Ossian Hall*		4957/5001 Regina Drive Annandale	070-4 ((6)) 124, 125	c. 1783
Ossian Hall Cemetery		7817 Royston Street Annandale	070-4 ((7)) 63	c. 1800
Wakefield Chapel		8415 Toll House Road Annandale	070-1 ((1)) 18	1897-1899

Dranesville District				
Name	Status	Location	Parcel Number	Date
Adams-Nelson-Sewell-Hirst Cemetery		1445 Layman Street McLean	031-1 ((9)) 40A	Late 1700s
Andrew Chapel School		9325 Leesburg Pike Vienna	019-4 ((1)) 60	1914
Andrew Chapel United Methodist Church		9201 Leesburg Pike Vienna	019-4 ((1)) 57	1855
Ballantrae		1288 Ballantrae Farm Drive McLean	031-1 ((20)) 26	1925-1928
Beaufort Park		7303 Peter Place McLean	021-3 ((26)) 10	1940
Bethel Primitive Baptist Church		9101 Leesburg Pike Great Falls	019-4 ((1)) 45A	1912
Bienvenue		6800 Churchill Road McLean	030-2 ((22)) (A) 23C	1822/1823
Bloomfield	N, V, H	12000 Leesburg Pike Herndon	006-3 ((1)) 6	c. 1858
+Bois Doré	V, N	8008 Georgetown Pike, McLean	0202 01 0048Z	1950-1951
Bull Neck Gold Mine		8008 Georgetown Pike McLean	020-2 ((1)) 13Z	c. 1894
Cameron Parish Church Ruins and Cemetery*		Powells Tavern Place Herndon	005-4 ((8)) G	1773
Chesterbrook Methodist Church		1711 Kirby Road McLean	031-3 ((1)) 119	1920
Claude Moore Colonial Farm at Turkey Run		6310 Georgetown Pike McLean	022-3 ((1)) 40	1973
Colvin Run Community Center		10201 Colvin Run Road Great Falls	012-4 ((1)) 31	1908
Colvin Run Mill	N, V, H	10017 Colvin Run Road Great Falls	018-2 ((1)) 24	c. 1810
Colvin Run Mill Miller's House	H	10017 Colvin Run Road Great Falls	018-2 ((1)) 24	c. 1810
Cornwell Farm	N, V	9414 Georgetown Pike Great Falls	13-1 ((1)) 58C2	1831
Cornwell, Henry, House*		10010 Georgetown Pike Great Falls	012-2 ((1)) 20	c. 1890
D.C. Boundary Stone A, W. Cornerstone	N, V	West Cornerstone Park, 2824 N. Arizona Street., Falls Church	040-4 ((26)) 1B	1791
D.C. Boundary Stone B, N.W. Line #1	N, V	6403 Oak Meadow Way McLean (adjacent)	041-1 ((1)) 66D (adjacent)	1791
D.C. Boundary Stone C, N.W. Line #2	N, V	5145 N. 38 th Street Arlington	041-1 ((23)) 1	1791
D.C. Boundary Stone D, N.W. Line #3	N, V	4013 N. Tazewell Street Arlington	031-4 ((15)) 65	1791
Defense Mapping Agency/ Herndon NIKE Control Site/W-83		925 Springvale Road Great Falls	012-1 ((1)) 24	1954-1962
Dower House		7728 Georgetown Pike McLean	020-2 ((1)) 28	Post 1865

Dranesville District (continued)

Name	Status	Location	Parcel Number	Date
Downscrest*		1049 Crest Lane McLean	022-4 ((1)) 28A	c. 1936
Dranesville Methodist Church		1089 Liberty Meeting Ct. Herndon	006-4 ((1)) 66B	1852–1861
Dranesville Tavern	N, V, H	11919 Leesburg Pike Herndon	006-3 ((1)) 19	c. 1823
Drover's Rest	N, V	8526 Georgetown Pike McLean	020-1 ((1)) 13	1757-1785
Dunbarton		11554 Tralee Drive Great Falls	006-4 ((13)) (2) 13	c. 1764-1794
Eastern Shore House	H	10026 Colvin Run Road Great Falls	018-2 ((1)) 19	c. 1782; moved here 1979
Eight Oaks		1825 Kirby Road McLean	041-1 ((28)) 8A1	c. 1858
Elmwood		7167 Old Dominion Drive McLean	030-1 ((1)) 60	1905
Faulkner House*		837 Dolley Madison Boulevard McLean	031-2 ((1)) 112	c. 1860-1870
Filene Center at Wolf Trap Farm Park		1551 Trap Road Vienna	028-2 ((1)) 3	1971; rebuilt 1982-1984
First Baptist Church of Chesterbrook		1740 Kirby Road McLean	031-3 ((1)) 66	1909-1913
First Baptist Church of Herndon	N, V	681 Elden Street Herndon	016-2 ((2)) 198	1899
Floris Colored School, New*		2525 Squirrel Hill Road Herndon	015-4 ((1)) 32	1932
Floris Presbyterian Church		2472 Centreville Road Herndon	16-3 ((1)) 7A	1906
Follin, J.N., House		1051 Walker Mill Road Great Falls	012-4 ((1)) 13	c. 1850
Fort Marcy		639 Chain Bridge Road McLean	031-2 ((1)) 40	1862
Four Stairs	N, V	840 Leigh Mill Road Great Falls	013-3 ((1)) 20Z	c. 1737
George Washington Memorial Parkway	N, V	Langley, McLean	N/A	1956-1962
Georgetown Pike	N, V	McLean and Great Falls	N/A	1813-1934
Great Falls Grange	N, V	9818 Georgetown Pike Great Falls	013-1 ((1)) 15	1929
Great Falls Park Historic District	N, V	9200 Old Dominion Drive McLean	08-4 ((12)) 3A1, 013-2 ((1)) 35	c. 6,000 BCE- 1968
Great Falls Post Office/ Forestville School	N, V	9812 Georgetown Pike Great Falls	013-1 ((1)) 18	1889
Greek Revival House	H	10030 Colvin Run Road Great Falls	018-2 ((1)) 19A	c. 1850; moved here 1974
Gunnell, John, House	N, V	489 Arnon Meadow Road Great Falls	008-3 ((1)) 3	1853
Gunnell's Run	N, V	600 Innsbruck Avenue Great Falls	008-3 ((12)) A	c. 1750

Dranesville District (continued)

Name	Status	Location	Parcel Number	Date
Herndon Depot	N, V	717 Lynn Street Herndon	016-2 ((2)) 23 (adjacent)	c. 1861
Herndon Historic District	N, V	Herndon	016-2 ((2))	1855–1940
Hickory Hill	N, V, H	1147 Chain Bridge Road McLean	031-1 ((1)) 1	c. 1869/1870
Hidden Springs Farm		438B River Bend Road Great Falls	008-4 ((1)) 33Z	1820s
Hitchcock House		8824 Gallant Green Drive McLean	019-4 ((10)) 7A	c. 1812-1820; moved here c. 1967
Ivy Chimney		11706 Leesburg Pike Herndon	006-4 ((1)) 40	1856-1860
Jackson, Verlinda, House		700 River Bend Road Great Falls	013-2 ((1)) 11	c. 1785
Jackson House		1157 Swinks Mill Road McLean	020-4 ((1)) 56	c. 1760
Jefferson School*		11105 Beach Mill Rd Great Falls	003-3 ((10)) 1	Pre 1930
Kalorama Springs*	H	10030 Colvin Run Road Great Falls	018-2 ((1)) 19A	Unknown
Kenmore		1410 Montague Drive Vienna	019-3 ((2)) C	1807
Keyes House*		2516 Squirrel Hill Road Herndon	015-4 ((1)) 28	1884/1885
King Subdivision		9001 Jackson Lane, 540-542 Elizabeth Street, Great Falls	013-2 ((2)) (1) (2)	1910-1925
Kitchen, Kitty, Cottage	N, V	681 Monroe Street Herndon	016-2 ((2)) 194	c. 1861
Langley Fork Historic District	N, V, H	Georgetown Pike and Chain Bridge Road, McLean	022-3; 31-1	Mid 19 th century
Langley Friends Meeting House	N, V, H	6410 Georgetown Pike McLean	022-3 ((1)) 48	1893
Langley Ordinary	N, V, H	1101 Chain Bridge Road McLean	022-3 ((1)) 63	c. 1856-1861
Langley Toll House and Gunnell's Chapel	N, V, H	6324 Georgetown Pike McLean	022-3 ((1)) 43	TH 1889; Chapel 1879
Leigh, Dr. Alfred, House		1148 Walker Road Great Falls	012-4 ((1)) 15A	c. 1890; addition 1910
Leigh, Vernon, House		9352 Mildred Court Vienna	019-4 ((1)) 63	1914/1915
Lewinsville House/Meadowbrook		1659 Chain Bridge Road McLean	030-3 ((1)) 65	c. 1860
Lewinsville Post Office		1554 Great Falls Street McLean	030-3 ((2)) 2	1845/1846; moved here 1980
Lewis-Oliver House*		1032 Towlston Road McLean	019-2 ((12)) 9A	c. 1750
Mackall House	N, V, H	6418 Georgetown Pike McLean	022-3 ((1)) 49	1858/1859
Mackall-Hall House		1011 Turkey Run Road	022-3 ((1)) 50, 51	1850-1890

Dranesville District (continued)

Name	Status	Location	Parcel Number	Date
Matildaville Ruins	N, V	9200 Old Dominion Drive Great Falls Park, Great Falls	013-2 ((1)) 35	1790-1839
Mayfield		11700 Leesburg Pike Herndon	006-4 ((1)) 41	c. 1804
McLean Baptist Church		1437 Emerson Avenue McLean	030-2 ((9)) 79	1923-1926
McLean Volunteer Fire Department/Fairfax County Fire Station Number 1		1440 Chain Bridge Road McLean	030-2 ((1)) 25	1948 with later additions
McMillen Farm*		1521 Dranesville Road Herndon	010-2 ((1)) 5	1905-1908; barn pre 1850
Merryhill		1222 Stuart Robeson Drive McLean	030-2 ((45)) 19A	c. 1871
Merrywood		700 Chain Bridge Road McLean	031-2 ((1)) 33	1919
Methodist Episcopal Church	N, V	800 Elden Street Herndon	016-2 ((2)) 33	1872
Middle Turnpike Bridge Ruins		Difficult Run Great Falls	019-1 ((1)) 2A, 019-1 ((9)) D	1818-1838
Mosby's Rock		2525 Squirrel Hill Road Herndon	015-4 ((1)) 32	Significant 1863-1865
Mount Pleasant Baptist Church, Old*, and Cemetery		13614 Coppermine Road Herndon	015-4 ((1)) 18	1882
Murphy, Hazel, Farm*		13900 Frying Pan Road Herndon	015-4 ((1)) 25	1852-1854
Old Ox Road Trace*		Behind Squirrel Hill Road Herndon	015-4 ((1)) 32	1729
Odrick, Alfred, Farmstead*		8425 Lewinsville Road McLean	029-1 ((24)) B	c. 1872
Patowmack Canal at Seneca Falls		Potomac River across from Seneca Creek Great Falls	003-1 ((1)) 1, 2	1785-1802
Patowmack Canal Historic District/Lock Ruins at Great Falls	N, V, L	9200 Old Dominion Drive Great Falls Park, Great Falls	013-2 ((1)) 35	1785-1802
Peacock House*		8906 Old Dominion Drive McLean	013-4 ((1)) 35	c. 1842
Piscataway Farm		11525 Seneca Farm Way Great Falls	006-2 ((16)) 2	c. 1800
Pleasant Grove Methodist Episcopal Church		8641 Lewinsville Road McLean	029-1 ((1)) 6	1892
Ratcliffe-Hanna House	N, V	2346 Centreville Road Herndon	16-3 ((1)) 39B3	c. 1820
Rokeby		800 Dolley Madison Boulevard McLean	031-2 ((1)) 12B	c. 1820
Salona	N, V	1214 Buchanan Street McLean	30-2 ((1)) 66A	c. 1812
Sears-Roebuck House		1506 Chain Bridge Road McLean	030-2 ((7)) (2) 5	1927; moved here 1979/1980
Shiloh Baptist Church		8310 Turning Leaf Lane McLean	029-1 ((1)) 58C	1928

Dranesville District (continued)

Name	Status	Location	Parcel Number	Date
Smith, Jesse, Farm		315 Seneca Road Great Falls	002-2 ((1)) 8	1854-1856
Smith's Chapel		11321 Beach Mill Road Great Falls	002-4 ((1)) 19	1890
Spring Glade		1442 Towlston Road Vienna	019-4 ((14)) 186A	c.1840
St. John's Catholic Church		6422 Linway Terrace McLean	031-3 ((1)) 25B	1913
St. Joseph's Church	N, V	718 Pine Street Herndon	016-2 ((2)) 273	1925
St. Timothy's Church	N, V	820 Elden Street Herndon	016-2 ((2)) 40A	1877-1880
Swink's Mill Miller's House		808 Swinks Mill Road McLean	021-3 ((1)) 6A	c. 1878
Toll Gate House*		9404 Georgetown Pike Great Falls	013-2 ((1)) 07	c. 1920
Towlston Grange		1213 Towlston Road Great Falls	019-4 ((1)) 14	c. 1767
Turner, Mark, Dairy Farm		10609 Georgetown Pike Great Falls	012-1 ((1)) 24C	1905
Watters, William, Grave		6430 Linway Terrace McLean	031-3 ((1)) 22	1827
Windy Hill Farm		7409 Windy Hill Court McLean	030-1 ((26)) 5	1826/1827
Wolf Trap Farmhouse		1551 Trap Road Vienna	028-2 ((1)) 3	1854/1855

Hunter Mill District

Name	Status	Location	Parcel Number	Date
Antioch Christian Church		1860 Beulah Road Vienna	028-3 ((1)) 20	1904
Ash Grove		8881 Ashgrove House Lane Vienna	028-2 ((13)) B	c. 1790; much rebuilt after 1960
Bowman, A. Smith, Distillery/ Wiehle Town Hall	N, V	1890 1865 Old Reston Avenue Reston	017-4 ((1)) 5B	c. 1890-1892
Brown's Chapel		1525 Browns Chapel Road Reston	011-4 ((1)) 8	c. 1879
Cartersville Baptist Church		1727 Hunter Mill Road Vienna (new church on site)	027-1 ((1)) 2	1903
Cherok House*	N, V	2633 Centreville Road Herndon	025-1 ((1)) 19	c. 1889
Cockerille House*		Mares Neck Lane Herndon	025-3 ((14))	c. 1840
Contemplation*		2584 Chain Bridge Road Vienna	038-3 ((41))	c. 1790-1820
Fairfax Courthouse Site		2070 Chain Bridge Road Vienna	029-3 ((1)) 30D	1742

Hunter Mill District (continued)

Name	Status	Location	Parcel Number	Date
First Baptist Church of Vienna		214 Lawyers Road, NW Vienna	038-4 ((2)) 8	1867
Floris Historic District	N, V	Between West Ox Road and Frying Pan Branch, Centreville Road and Monroe Street Herndon	025-1 ((1)) 3A, 3L, 9-11, 13, 16- 17, 19-21, 29-31; 025-1 ((14)) B, C, E-G, (6) A, (7)B	c. 1785-1960
Floris United Methodist Church	N, V	2629 Centreville Road Herndon	025-1 ((1)) 17	c. 1895
Fox House	N, V	2703 West Ox Road Herndon	025-1 ((1)) 20	1897/1898
Freedom Hill Fort		8531 Old Courthouse Road Vienna	039-1 ((3)) 65, 65A	1865
Freeman Store	N, V	131 Church Street, NE Vienna	038-2 ((2)) 104	c. 1859
Frying Pan Farm Park	N, V	2709 West Ox Road Herndon	025-1 ((1)) 3A, 3L, 9-11, 29-31; 025-1 ((14)) B, C, E-G, (6)A, (7)B	c. 1920
Frying Pan Meeting House	N, V	2615 Centreville Road Herndon	025-1 ((1)) 11	c. 1783
Garde, The		9938 Lawyers Road Vienna	038-1 ((1)) 5A	c. 1904
Head's Hill Farm*		Saratoga Way Vienna	039-1 ((17))	1858
Higgins, R., House	N, V	2705 West Ox Road Herndon	025-1 ((1))21	1903/1904
Lahey, Richard, House		9750 Brookmeadow Drive Vienna	028-3 ((1)) 8	c. 1760
Lake Anne Village Center	H, N, V	Washington Plaza and Chimney House Road, Reston	017-2 ((6)) ((7)) ((9)) ((31))	1963-1967
Lawyers Road*		Between Hunter Station and Hunter Mill Roads, Vienna	027-3; 27-4	Pre 1800
Lee, Edward, House	N, V	2625 Centreville Road Herndon	025-1 ((1)) 16	c. 1891
Merry-Go-Round		2594 Chain Bridge Road Vienna	038-3 ((1)) 37	1916
Plantation		1627 Trap Road Vienna	028-2 ((1)) 32C	1895
Springfield/Broadwater*		900 Frederick Street, SW Vienna	038-4 ((55)) 3	c. 1750
Summer Road		Near 1416 Crowell Road Vienna	Parts of 18-2 ((1)) 27, 18-2 ((5)) 1A, and 18-2 ((19)) 1A	Early 19 th century
Sunset Hills		1850 Old Reston Avenue Reston	017-4 ((1)) 1	1899

Hunter Mill District (continued)

Name	Status	Location	Parcel Number	Date
+U.S. Geological Survey National Center	N	12201 Sunrise Valley Drive, Reston	0173 01 0012B, 0261 01 0002A, 0173 01 0012A	1969-1974
Vienna Library		131 Church Street, NE Vienna	038-2 ((2)) 104	1897
Vienna Presbyterian Church		124 Park Street, NE Vienna	038-2 ((2)) 92	1874
Vienna Railroad Station		231 Dominion Road Vienna	038-4 ((2)) 272	1859
Wesley Chapel		137 Church Street, NW Vienna	038-4 ((2)) 98	c. 1890
Wiehle, Robert, House		1830 Old Reston Avenue Reston	017-4 ((1)) 3	c. 1895
Windover Heights*		224 Walnut Lane Vienna	038-4 ((2)) 3	1869
Wine, William, House		1416 Crowell Road Vienna	18-2 ((19)) 1A	1915/1916
Woodbury House		10307 Saddle View Court Vienna	027-2 ((4)) A	c. 1760, possibly 1747

Franconia District

Name	Status	Location	Parcel Number	Date
Ashland		6000 Walhaven Drive Alexandria	091-2 ((20)) 1	1844/1845
Bayliss House		5918 Wilton Hill Terrace Alexandria	082-4 ((46)) 10A	1942
Belvale		7101 Telegraph Road Alexandria	091-4 ((7)) 6, 7	1763-1766
Burgundy Farm Country Day School		3700 Burgundy Road Alexandria	082-2 ((1)) 5, 6, 8	1946
Evergreen		5719 Cannon Lane Alexandria	082-2 ((5))(D) 1	c. 1873; moved here 1969
Fairview Farm		3398 Tennessee Drive Alexandria	082-2 (26) 7	c. 1855; renovations and additions 1890-1910
Fort Lyon Earthworks*		South side of James Drive, west of N. Kings Hwy, Alexandria	083-1 ((6)) (11) 15A-24B	1861
Huntley	N, V, H	6918 Harrison Lane Alexandria	092-2 ((1)) 8C	c. 1825
Laurel Grove Baptist Church*		6834 Beulah Street Alexandria	091- 1 ((1)) 25	1884
Laurel Grove School		6840 Beulah Street Alexandria	091-1 ((1)) 23E	c. 1886
Mount Calvary Community Church		6731 Beulah Street Alexandria	091-1 ((1)) 84	1901
Mount Erin*		6403 Hillview Avenue Alexandria	082-4 ((1)) 9A	c. 1811

Franconia District (continued)

Name	Status	Location	Parcel Number	Date
Olivet Episcopal Chapel		6107 Franconia Road Alexandria	081-3 ((5)) 1B	1893
Stoneybrooke/Retirement		3900 Stoneybrooke Drive Alexandria	092-2 ((22)) C	c. 1785

Mason District

Name	Status	Location	Parcel Number	Date
Annandale Methodist Church		6935 Columbia Pike Annandale	060-4 ((1)) 20A	c. 1870
Clark House		6332 Barcroft Mews Drive Annandale	061-3 ((19)) A	c. 1902; moved here 1990
DC Boundary Stone E, S.W. Line #6	N, V	South Jefferson Street, median strip, Falls Church	062-1 ((1))	1791; moved here 1965
DC Boundary Stone F, S.W. Line #7	N, V	3101 S. Manchester Street Falls Church	051-4 ((13)) (3)	1791
DC Boundary Stone G, S.W. Line #8	N, V	2965 Patrick Henry Drive Falls Church	051-3 ((18)) D, D1	1791
Green Spring Farm/Moss House	N, V	4601 Green Spring Road Alexandria	072-1 ((1)) 24	1784-1786
Holly Hill		7318 Statecrest Drive Annandale	060-1 ((40)) 12B	1867/1868
Holmes Run Acres	N, V	Gallows Road at Annandale Road (subdivision), Annandale	059-2; 060-1	1951-1958
Lee, James E., Negro Elementary School		2855 Annandale Road Falls Church	050-4 ((1)) 50A	1947/1948
Lake Barcroft Dam		6200 Columbia Pike Falls Church	061-4 ((1)) 165	1915
Manassas Gap Railroad Independent Line*	V (partial)	7701 and 7504 Royce Street 6925 Little River Turnpike Annandale	059-4 ((1)) 23, 060-3 ((1)) 13, 060-3 ((12)) 17- 20 060-3 ((41)) A, D 071-2 ((1)) 11E	1850-1865
Mount Pleasant Baptist Church Cemetery		4111 Old Columbia Pike Annandale	061-3 ((1)) 4A, 5	1867
Summers Cemetery		Adjacent to 6250 Lincolnia Road Alexandria	072-2 ((7)) 15A	c. 1790
+White Gardens, John C., and Margaret K.*		3301 Hawthorne Ln., Falls Church	0602 ((01)) 0020	c. 1876; 1939

Mount Vernon District				
Name	Status	Location	Parcel Number	Date
Accotink United Methodist Church		9043 Backlick Road Accotink	109-1 ((1)) 25	1880
Andalusia*		800 Arcturus (now Andalusia Drive), Alexandria	102-2 ((23)) 6, 7, 8	c. 1869
Arch Hall		10814 Belmont Boulevard Lorton	117-2 ((1)) 7A	Pre-1796; moved here 1949
Belmont/Cocke-Washington House		10913 Belmont Boulevard Lorton	118-1 ((2)) 126	c. 1730
Belvoir Mansion Ruins and the Fairfax Grave	N, V	Belvoir Road Fort Belvoir	115-2 ((1))	c. 1741
Bethlehem Baptist Church		7836 Fordson Road Alexandria	102-1 ((1)) 67B	1930
Camp Humphreys Pump Station and Filter Building	V	9155 Richmond Hwy Fort Belvoir	115-2 ((1)) 1	1918
Carlby		4509 Carlby Lane Alexandria	110-3 ((1)) 10	c. 1768; moved here 1947
Colchester Town Archaeological Site		Old Colchester Road Lorton	113-3; 117-1	Town est 1753
Collingwood*		8301 East Boulevard Drive Alexandria	102-4 ((1)) 71	1852-1855
Cranford Memorial Methodist Church and Lewis Chapel		9912 Old Colchester Road Lorton	114 -1 ((1)) 1	1857
D.C. Workhouse and Reformatory	N, V	D.C. Workhouse and Reformatory Historic District, Lorton	107-1 ((1)) 9; 107-1 ((7)) B, C1 pt; 106-4 ((1)) 56 pt, 57 pt, 58; 107-3 ((1)) 19 pt; 113-1 ((1)) 15 pt.	Significant 1910-1961
Fairfax Arms	N, V	10712 Old Colchester Road Lorton	113-3 ((1)) 25	c. 1756-1758
Fairfax Chapel		21 st Street Fort Belvoir	115-2 ((1)) 1	1941
Ferry Landing*		4290 Neitzey Place Alexandria	110-3 ((1)) 18B	1876
Fort Belvoir Historic District	V	Fort Belvoir	115-2 ((1)) 1	From 1917
Fort Belvoir Military Railroad Historic Corridor	V	Fort Belvoir	115-2 ((1)) 1	1810-1993
Fort Hunt	N, V	8940 Fort Hunt Road Alexandria	111-2 ((1)) 3	1897-1904
Fort Willard Circle		6625 Fort Willard Circle Alexandria	083-3 ((14)) B1, B2	1862
Furnace Road Bridge/Barrel Bridge	N, V	D.C. Workhouse and Reformatory Historic District, junction of Routes 611 and 642, Lorton	107-3 ((1)) 19	1946
Grand View	H	9000 Richmond Highway Alexandria	109-2 ((1)) 3, 4	<u>c. 1869</u>

Mount Vernon District (continued)				
Name	Status	Location	Parcel Number	Date
Gunston Hall	N, V, L	10709 Gunston Road Lorton	119-1 ((1)) 1	1759
Hannah P. Clark/Enyedi House		10605 Furnace Road, Lorton - Old Colchester Park and Preserve	113-3((1))0019A; 113-3((1))0019	circa 1876- 1880
Hollin Hall		1909 Windmill Lane Alexandria	093-3 ((1)) 10B	1919
Hollin Hills	N, V	Subdivision Alexandria	093-3; 93-4; 102-1	1949-1971
Indian Spring Farm*		9829 Gunston Road Lorton 7744 Julia Taft Way, Lorton	113-2 ((1)) 11, 11A	c. 1880
La Grange*		9501 Old Colchester Road Lorton	108-3 ((1)) 21	c. 1742
Lamond House		7509 Fort Hunt Road Alexandria	093-4 ((1)) 3	c. 1940
Laurel Hill	N, V	DC Workhouse and Reformatory Historic District, Lorton	107-1 ((1)) 9	c. 1787
Lebanon		10301 Gunston Road Lorton	114-1 ((1)) 16	c. 1837
Lexington Site	N, V	Mason Neck State Park Lorton	118-2 ((1)) 4	1784-1818
Little Hollin Hall		1901 Sherwood Hall Lane Alexandria	102-1 ((24)) D	c. 1721
Mason, Otis Tufton, House	H	8907 Richmond Highway Alexandria	109-2 ((1)) 2	c. 1873
Mason Boundary Stone A		10809 Harley Road Lorton	118-2 ((1)) 17A	1783
Mason Boundary Stone B		10809 Harley Road Lorton	118-2 ((1)) 17A	1783
Metzger House*		10718 Old Colchester Road, Lorton	113-3 ((1)) 27A	c. 1759
Minnick House		10419 Old Colchester Road Lorton	113-4 ((1)) 40	c. 1893
Mount Air*	H	8600 Accotink Road Lorton	099-4 ((9)) A	c. 1830
Mount Eagle*		5919 King's Highway Alexandria	083-3 ((31))	1790
Mount Vernon	N, V, L	3200 Mount Vernon Memorial Highway, Mount Vernon	110-2 ((1)) 12	1742
Mount Vernon High School, Original	N, V	8333 Richmond Highway Alexandria	101-4 ((1)) 5A	1939
Mount Vernon Memorial Highway	N, V	George Washington Memorial Parkway (current name); from Alexandria border to Mount Vernon	N/A	1929-1932
Newington Railroad Station*		West of 7001 Newington Road Newington	099-2 ((1)) 56	1903
Occoquan Iron Truss Bridge*		NW of Route 123 at the Occoquan River, Lorton	112-2 ((1)) 9	1878

Mount Vernon District (continued)

Name	Status	Location	Parcel Number	Date
Occoquan Women's Work House*		Griffith Water Treatment Plant, Ox Road, Lorton	106-4 ((1)) 56	1910-1917
Overlook/Benvenue		10711 Gunston Road Lorton	119-1 ((1)) 2	1873/1874
Peake Family Cemetery		Martin Luther King, Jr. Park Alexandria	101-2 ((12)) D	From 1785
Pohick Church	N, V, H	9315 Richmond Highway Lorton	108-1 ((1)) 27	1774
Pope-Leighey House	N, V, H	9000 Richmond Highway Alexandria	109-2 ((1)) 4	1940; moved here 1965
Popkins Farm*		7300 Popkins Farm Road Alexandria	093-3 ((28))	c. 1870
+Pride of Fairfax County Lodge #298	V (N pending)	7809 Fordson Road, Alexandria, VA	1021 ((01)) 0098	1944 - 1971
Sherwood Farm		7702 Midday Lane Alexandria	102-1 ((26)) (5) 13	1859
Shiloh Baptist Church		10704 Gunston Road Lorton	114-4 ((1)) 21	1883
Silverbrook United Methodist Church	N, V	8616 Silverbrook Road Lorton	098-3 ((1)) 8	1908
Spring Bank*		6301 Richmond Highway Alexandria	83-3 ((1)) 24, 83-3 ((40)) 1, 2	c. 1809
Springfield/Cockburn House*		10650 Gunston Road Lorton	114-4 ((3)) (1) 1	Orig house c. 1763
Taft Archaeological Site	N, V	7301 High Point Road Lorton	118-3	c. 500 BCE – 1600 CE
Tauxemont Historic District	N, V	East of Fort Hunt Road (subdivision), Alexandria	102-2	1941-1955
Thermo-Con House	V	9791 Gunston Road, Building 172, Fort Belvoir	115-2 ((1))	1949
Tower House	N, V	9066 Tower House Place Alexandria	111-1 ((22)) 12B	1888
Union Farm		9150 Union Farm Road Alexandria	110-1 ((1)) 10	1857
U.S. Army Package Power Reactor*	V	5995 Wilson Road, Building 723 Fort Belvoir	115-4	1957
Washington's Grist Mill	N, V, H	5514 Mount Vernon Memorial Highway, Alexandria	109-2 ((1)) 28	1932
Watering Trough		Mount Vernon Park, Fort Hunt Road, Alexandria	093-1 ((1)) 72B	c. 1850–1879
Wellington/Washington's River Farm		7931 East Boulevard Drive Alexandria	102-2 ((1)) 20	c. 1795

Mount Vernon District (continued)

Name	Status	Location	Parcel Number	Date
+William H. Randall Estates		2005-2009 Shiver Drive 2100-2115 Shiver Drive 2200-2216 Shiver Drive 2200-2216 Shiver Drive 7016-7024 Jube Court 2117 Rollins Drive 2201 Rollins Drive 2205 Rollins Drive 2209 Rollins Drive 2227 Rollins Drive 2233 Rollins Drive 2237 Rollins Drive	093-3 ((17)) 1-5, 6A, 7, 8A, 9A, 10; 093-3 ((14)) 1A- 6A, 7, 14, 15; 093- 1 ((01)) 67, 69A; 093-1 ((31)) 1, 2, 3B, 4B, 5A, 6-9, 10A, 11A, 12-20; 093-1 ((35)) 1, 2; 093-1 ((34)) 8-11, 12A-B, 13	1962-1974
Woodlawn Baptist Church, Old*	H	9001 Richmond Highway Alexandria	109-2 ((1)) 1	Orig church 1872
Woodlawn Friends Meeting House	N, V, H	8990 Woodlawn Road Fort Belvoir	109-2 ((1)) 38	1851
+Woodlawn Cultural Landscape Historic District	V (N pending)	Bounded by Old Mill Rd, Mt Vernon Memorial Hwy, Fort Belvoir, and Dogue Creek	1092 ((01)) 0001 1092 ((01)) 0002 1092 ((01)) 0003 1092 ((01)) 0004 1092 ((01)) 0028 1092 ((01)) 0038 & a portion of 1152 ((01)) 0001	1799-1964
Woodlawn Methodist Church		7730 Fordson Road Alexandria	102-1 ((1)) 78A	c. 1941
Woodlawn Plantation	N, V, H, L	9000 Richmond Highway Alexandria	109-2 ((1)) 4, 115-2 ((1)) 1 pt	1805

Providence District

Name	Status	Location	Parcel Number	Date
Annandale Grange/Pioneer Grange		3464 Annandale Road Annandale	060-1 ((1)) 36A	c.1922
Camp Alger Headquarters		8234 Citadel Place Vienna	049-1 ((1)) 43	c. 1854
Dunn Loring Elementary School		2334 Gallows Road Dunn Loring	039-4 ((1)) 24	1939
Dunn Loring Methodist Church		2438 Gallows Road Dunn Loring	039-4 ((1)) 28	1889
Fairfax County Courthouse	N, V	4000 Chain Bridge Road Fairfax	057-4 ((1)) 14	1800
Fairfax County Jail	N, V	4010 Chain Bridge Road Fairfax	057-4 ((1)) 14	c. 1885
Flint Hill School		3012 Chain Bridge Road Fairfax	047-2 ((1)) 36A	1930; moved here 1986
Fountain of Faith in National Memorial Park		7400 Lee Highway Falls Church	050-1 ((1)) 30	1952
+Goldsmith, William H. House		2758 Chain Bridge Road, Vienna	0481 01 0023	c. 1918

Providence District (continued)

Name	Status	Location	Parcel Number	Date
Hatmark School*		9333 Lee Highway Fairfax	048-4 ((1)) 2	c. 1896
Highland View/Flagg House		7272 Highland Estates Place Falls Church	040-3 ((36)) 16	1879
Hollywood Farm		2322 Dale Dr Falls Church	040-3 ((38)) 6	c. 1750
Hunter House		9537 Courthouse Road Vienna	048-1 ((1)) 74	c. 1890
Idylwood Presbyterian Church		7617 Idylwood Road Falls Church	040-3 ((1)) 22	1915
Jackson, Luther P., School		3020 Gallows Road Falls Church	049-4 ((1)) 14	1954
Legato School		4100 Chain Bridge Road Fairfax	057-4 ((1)) 14	c. 1877
Long View		2606 Ogden Street Falls Church	049-2 ((12)) 41	c. 1770
Mount, The		2312 Colonel Lindsay Court Falls Church	040-3 ((32)) 7	c. 1766
Oakton School		2841 Hunter Mill Road Oakton	047-2 ((1)) 13	1897; moved here 2007
Oakton Trolley Station	N, V	2923 Gray Street Oakton	47-2 ((1)) 63C	1905
Oakton United Methodist Church		2951 Chain Bridge Road Oakton	047-2 ((1)) 91	1898
Second Baptist Church		6626 Costner Drive Falls Church	050-2 ((1)) 54	1926
+Terrett, S.T. Sr. House/Briarwood Farmhouse		2831 Cambridge Park Place	0482 1702 A, 0482 1702 0004	1911
Thompson Cemetery		9133 Lee Highway Fairfax	048-4 ((1)) 13A	Mid 19 th century
Tinner Hill Historic District		106-120 Tinner Hill Road Falls Church	050-2 ((7)) 1 050-2 ((7)) 2 050-2 ((7)) 3 050-2 ((7)) 4 050-2 ((7)) 4A 050-2 ((7)) 4B 050-2 ((7)) 6 050-2 ((7)) 7 050-2 ((7)) 8 050-2 ((7)) 8A 050-2 ((7)) 9	c. 1900-1940
Tudor Hall		8016 N. Park Street Dunn Loring	039-4 ((1)) 130	1888/1889
Victorian Farmhouse		7500 Idylwood Road Falls Church	040-3 ((1)) 12	1871

Springfield District				
Name	Status	Location	Parcel Number	Date
Beckwith House	N, V	12752 Chapel Street Clifton	075-4 ((2)) 41A	c. 1870
Brimstone Hill/Arundel Farm		6821 Ox Road Fairfax Station	087-1 ((1)) 23	c. 1850
Buckley Brothers' Store	N, V	7145 Main Street Clifton	075-4 ((2)) 30	1891/1892
Burke Methodist Church/Burke Station		9415 Burke Lake Road Burke	078-1 ((1)) 19	c. 1857
Burke, Silas, House		9617 Burke Lake Road Burke	078-3 ((1)) 4	Orig c. 1820; rebuilt c. 1853
Clifton Baptist Church	N, V	7152 Main Street Clifton	075-4 ((2)) 59	c. 1912
Clifton Elementary School		7010 Clifton Road Clifton	075-4 ((1)) 24	1953
Clifton Historic District	N, V	Clifton	075-4 ((2))	1860-1910
Clifton Hotel	N, V	7134 Main Street Clifton	075-4 ((2)) 11	1869
Clifton Presbyterian Church	N, V	12748 Richards Lane Clifton	075-4 ((2)) 13A	1870-1872
Confederate Fortifications Historic Site	N, V	Balmoral Greens Avenue Clifton	074-4 ((3)) F, 074-2 ((6)) C	1861
Crouch Schoolhouse		6901 Union Mill Road Clifton	074-2 ((8)) 3	1874: moved and rebuilt 2011
Fairfax Station		11200 Fairfax Station Road Fairfax Station	076-2 ((1)) 9	c. 1873; moved here 1981
Hantslot		6301 Newman Road Clifton	076-1 ((1)) 1Z	1890/1891
Hope Park		5709 Quiet Brook Road Fairfax	067-3 ((1)) 24A	c. 1750
Hope Park Mill and Miller's House	N, V, H	12124 Pope's Head Road Fairfax	067-3 ((1)) 10B	Mill c. 1800; house pre 1815
Innisfail		11800 Fairfax Station Road Fairfax Station	076-1 ((1)) 25	c. 1771
Jerusalem Baptist Church		5424 Ox Road Fairfax Station	068-3 ((1)) 54	1865; orig 1768
Mulberry Hill		9417 Windsor Way Burke	088-2 ((28)) 6	c. 1790
Northern Virginia Regional Park Authority Headquarters		5400 Ox Road Fairfax Station	068-3 ((1)) 55	1972/1973
Ox Hill Battlefield Memorial Park		4134 West Ox Road Fairfax	046-3 ((1)) 28B, 31B, 32, 32A; 046-3 ((5)) 5, 6	1862 battle; 1915 markers
Quailwood		7700 Wolf Run Shoals Road Fairfax Station	095-2 ((9)) 2	1844/1845
Quigg, Lewis, House	N, V	7150 Main Street Clifton	075-4 ((2)) 34	1880-1882

Springfield District (continued)

Name	Status	Location	Parcel Number	Date
St. Mary's Roman Catholic Church	N, V, H	5612 Ox Road Fairfax Station	077-1 ((1)) 29	1858
Stafford Landing		5300 Ox Road Fairfax	068-3 ((1)) 6A	c. 1890
Stoneleigh		8108 Ox Road Fairfax Station	097-1 ((1)) 23C	1854/1855
Sydenstricker Methodist Chapel		8507 Hooes Road Springfield	089-3 ((1)) 55	c. 1911
Sydenstricker School	N, V	8511 Hooes Road Springfield	089-3 ((1)) 56	1928
Winfield Farm		5290 Winfield Road Fairfax	055-4 ((1)) 24P	c. 1815
Wolf Run Shoals Camp		8517 Wolf Run Shoals Road Fairfax Station	095-4 ((1)) 14	1861
Woodaman House		12816 Westbrook Drive Fairfax	055-2 ((3)) E2	c. 1790

Sully District

Name	Status	Location	Parcel Number	Date
Appledore/ Poplar Vale		3000C Fox Mill Road Oakton	036-3 ((1)) 29C	c. 1806
Bull Run Bridge	N, V, H	16020 Lee Highway Centreville	063-2 ((1)) 4	Orig 1820s; rebuilt several times
Cabell's Mill		5235 Walney Road Centreville	054-2 ((1)) 2	c. 1800
Cabell's Mill Miller's House/ Middlegate		5235 Walney Road Centreville	054-2 ((1)) 2	c. 1800
Centreville Methodist Church	H	13941 Braddock Road Centreville	054-4 ((1)) 44	1870; orig 1855
Chambliss, Hardee, Law Office	H	13923 Braddock Road Centreville	054-4 ((1)) 48	1896/1897
Chantilly Plantation Stone House		13200 Lee Jackson Highway Chantilly	045-1 ((1)) 11	c. 1820
Civil War Earthworks	H	5714 Mount Gilead Road Centreville	054-4 ((1)) 38A, 054-4 ((16)) A1 open space, 054-4 ((24)) B1 open space	1861
Cross House		13881 Walney Park Drive Chantilly	044-4 ((17)) 108	1905
Franklin Farm House/Oak Hill		3020 West Ox Road Herndon	035-2 ((8)) (25) 4	c. 1790
Gabrielson Gardens Park/Great Crest		2514 Leeds Road Oakton	037-1 ((3)) 7	1950
Harrison House	H	13930 Braddock Road Centreville	054-4 ((1)) 41	c. 1865-1867
Havener House	H	13940 Braddock Road Centreville	054-4 ((1)) 43	c. 1790

Sully District (continued)

Name	Status	Location	Parcel Number	Date
Hutchison, John, House		4201 Pleasant Valley Road Chantilly	033-2 ((11)) 300	c. 1757-1785
Hutchison, John, Cemetery		4201 Pleasant Valley Road Chantilly	033-2 ((11))	c. 1757
Hutchison, Silas, House		4323 Cub Run Road Chantilly	033-4 ((2)) 41A	c. 1750-1775
Hutchison, Silas, Cemetery		North of 4319 General Kearney Court, Chantilly	033-4 ((2)) 105	c. 1750-1800
Hutchison, Silas, Saw and Grist Mill Dam and Ruins		15012 Old Lee Road Chantilly	043-2 ((1)) 1	c. 1852-1862
Lanes Mill Ruins/Newton's Mill Ruins		14901 Lee Highway Centreville	064-2 ((1)) 5A	c. 1760
Leeton		4619 Walney Road Chantilly	044-4 ((1)) 1B	c. 1793
Level Green		6275 Level Green Lane Centreville	065-2 ((11)) 82	c. 1740
Manassas Gap Railroad Independent Line and Loudoun Branch*		3650 Historic Sully Way Chantilly Western corner of county at Bull Run, Cub Run Stream Valley Park Centreville	034-2 ((1)) 14, 052-3 ((1)) 3, 053-1 ((5)) E2, 053-2 ((2)) E	1854-1862
Middleton, John, Farm*		13801 Frying Pan Road Herndon	024-2 ((1)) 1	1871
Mitchell-Weeks House*		13661 Lee-Jackson Highway Chantilly	034-4 ((1)) 59	c. 1789
Mohler House*	H	13933 Braddock Road Centreville	054-4 ((1)) 46, 054-4 ((7)) 1-6	c. 1830
Mount Gilead	H	5714 Mount Gilead Road Centreville	054-4 ((1)) 38A	c. 1785
Mountain View*		6421 Bull Run Post Office Road Centreville	052-2 ((1)) 3	c. 1755
Newton, Willoughby, Boundary Stone*		14145 Darkwood Drive Centreville (removed to storage)	065-1 ((15)) A	1739
Orchard Hill		13671 Orchard Drive Centreville	066-1 ((8)) community center	c. 1780
Payne's Store	H	13848 Lee Highway Centreville	054-4 ((1)) 30	c. 1930
Peck House*		Formerly 3106 Centreville Road Herndon	024-4 ((1)) 6C4 024-4 ((7)) C	c. 1853
Spindle Sears house	H	5714 Mount Gilead Road Centreville	054-4 ((1)) 38A	1934
Squirrel Hill		3416 Lyrac Street Oakton	046-1 ((18)) B1	c. 1706
St. John's Episcopal Church	H	5649 Mount Gilead Road Centreville	054-4 ((1)) 25A	1867
Stone Filling Station	H	13940 Braddock Road Centreville	054-4 ((1)) 43	1937; moved here 1987

Sully District (continued)

Name	Status	Location	Parcel Number	Date
Sully	N, V, H	3601 Sully Road 3650 Historic Sully Way Chantilly	034-2 ((1)) 13	From 1794
Thompson, Arthur, House		12500 Thompson Road Fairfax	035-4 ((1)) 73	c. 1898
Turley Hall*		3318 Centreville Road Chantilly	034-2 ((1)) 10A	c. 1821
Utterback, Enos, House	H	13916 Braddock Road Centreville	054-4 ((1)) 32	c. 1918/1919
Vale School/Vale Community House	N, V	3124 Fox Mill Road Oakton	036-4 ((1)) 8	c. 1885
Vale United Methodist Church		11528 Vale Road Oakton	036-4 ((1)) 19	1896
Walney		5040 Walney Road Centreville	044-4 ((1)) 3	c. 1780
White, Elijah, House*		2900 West Ox Road (formerly; now 13141A Lazy Glen Ct.) Herndon	025-3 ((7)) 126	c. 1884
Wrenn, Samuel, House at Franklin Farm		13223 Wrenn House Lane Herndon	035-1 ((4)) (17) 31	c. 1810-1820

The Department of Planning and Development and the History Commission continually review and update the Inventory of Historic Sites. However, it is possible that some of the above information may contain errors. Please note: many of the properties encompassed a much larger area when originally listed in the Inventory. The current locations of extant architectural resources are updated periodically. For the protection of archaeological sites, their exact locations are not revealed.



To request reasonable ADA accommodations, call the Fairfax County Department of Planning and Development, 703-324-1380, TTY 711 (Virginia Relay).

F. Standards for Special Exception and Special Permit Uses

- (1) There are certain uses, like those regulated by special exception or special permit, which by their nature or design can have an undue impact upon or be incompatible with other uses of land. The Board or BZA, as applicable, may approve a special exception or special permit that complies with all applicable standards, that will be compatible with existing and planned development in the general area, and that, as conditioned, will be compatible with the neighborhood where it is proposed to be located. If it determines that the use is not in accordance with all applicable standards of this Ordinance, the Board or BZA, as applicable, must deny the special exception or special permit.
- (2) In addition to all other applicable standards, all special exception or special permit uses must comply with the following general standards:
 - (a) The proposed use at the specified location must be in harmony with the Comprehensive Plan.
 - (b) The proposed use must be in harmony with the general purpose and intent of the zoning district where it is to be located.
 - (c) The proposed use, including its design and operational characteristics, must not adversely affect the use or future development of neighboring properties and must be in accordance with the applicable zoning district regulations. The location, size and height of buildings, structures, walls, and fences, as well as the nature and extent of screening, buffering and landscaping cannot hinder or discourage the appropriate development and use, or impair the value of, adjacent or nearby land or buildings.
 - (d) Pedestrian and vehicular traffic associated with the use must not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.
 - (e) Adequate utility, drainage, and other necessary facilities to serve the proposed use must be provided.
 - (f) Signs are regulated by Article 7; however, the Board or BZA may impose stricter requirements for a given use than those set forth in this Ordinance.
- (3) No use of a structure or land that is designated as a special exception or special permit use in any zoning district may be established, and no existing use may be changed to another use that is designated as a special exception or special permit use in the district, unless the applicable special exception or special permit has been approved by the Board or BZA and the use has been established in accordance with subsection 8100.3 or subsection 8100.4.
- (4) A conforming use lawfully existing before the effective date of this Ordinance that requires a special exception or special permit under this Ordinance may not be replaced or enlarged except in accordance with subsection 8104.3.
- (5) If a current and valid special exception or special permit exists for a use that is on a lot that is zoned to more than one zoning district and if an amendment to this Ordinance allows the use as a permitted use only in one of those zoning districts, the special exception or special permit will remain in full force and effect for the entire property, unless the Board or BZA approves an amendment to the special exception or special permit to remove the land area from the area that is subject to the special exception or special permit.